



150 NE 2<sup>nd</sup> Avenue  
Deerfield Beach, FL 33441  
954-250-4124

**Regular Meeting**  
**Planning & Zoning Board**

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Thursday, March 5, 2026

7:00 PM

Commission Chambers

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**CALL TO ORDER AND ROLL CALL**

**APPROVAL OF MINUTES**

*January 8, 2026*

**Attachment:** January 8, 2026

**NEW BUSINESS**

**1. P.H. 2026-030: APPLICATION 83-B1-11 Rev.8**

**Applicant:** Medallion Deerfield 3701 LLC represented by Paragon Development, LLC.

**Proposal:** Seeking Major Site Plan approval to construct a new one-story 2,036 square foot building with associated site improvements on an outparcel of a greater 5.5 -acre site in the B-1, Community Business zoning district.

**Location:** The property is generally described as GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS, BEG AT NW COR, SLY 298.06, ELY FOR 297.33, NLY 84, ELY 203.60, NLY 209.50, WLY 495.98 TO POB & LESS PT K/A PUMPING STATION SITE & LESS PART DESC IN OR 15251/989 9-146 B & LESS POR DESC AS BANK LEASE PARCEL and GRAND UNION DEERFIELD BEACH 117-12 B PORTION OF PARCEL A DESC AS COMM AT SW COR SAID PAR A, N 6.10, NE 8.35, E 61 TO POB, N 164.87, E 111.90, S 16.85, E 27.94, S 154.05, NW 57.25, W 82.99 TO POB, LESS THAT PORTION PER MMB 9-146 B AKA: BANK LEASE PARCEL and located at 3701 W Hillsboro Boulevard.

**Attachment:** 83-B1-11 Rev.8

**STAFF REPORT**

**CHAIRMAN AND MEMBER REPORT**

**ADJOURNMENT**

Any person wishing to appeal any decision made by the Planning and Zoning Board with respect to any of the above, will need a record of the proceedings and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. The above notice is required by State law (FS 286.0105.) **Anyone desiring a verbatim transcript shall have the responsibility, at his/her own expense, to arrange for the presence at the hearing of a certified court reporter.** A full transcript of the proceedings will be needed in order to appeal any decision of the Board. All interested parties may present testimony relevant to the applications and participate in the proceeding. Further information may be obtained from the Planning Office during business hours in City Hall. If anyone requires auxiliary aids for communication, please call (954) 480-4213.



**PLANNING AND ZONING BOARD  
CITY OF DEERFIELD BEACH, FLORIDA**

**January 8, 2026  
MEETING MINUTES**

A regular meeting of the Planning and Zoning Board of the City of Deerfield Beach, a municipal corporation of Florida, was called to order on the above date at 7:00 p.m. in the City Commission Chambers by Chair Bennett.

**ROLL CALL**

Present: Michelle Balaun  
Joe Chancy, Alternate  
William Lane  
Judith Mergilles, Alternate  
Keith Porter  
Bridgette Beckford, Vice Chair  
Brian Bennett, Chair

Also Present: Daniel Mantell, Planning and Zoning Manager  
Heather Waldstein, Assistant Director of Planning and Development Services  
Debra Reese, Assistant City Attorney  
Samantha Charlemont, Assistant City Clerk

Absent: Angela Falzone, Alternate  
Brian Shartrand, Alternate

**SEATING OF ALTERNATES**

None.

**APPROVAL OF MINUTES**

Mr. Porter made a motion, seconded by Ms. Balaun to approve the September 4, 2025 minutes as submitted. The motion CARRIED by unanimous vote.

**NEW BUSINESS**

**P.H. 2026-014: APPLICATION: 88-CF-14**

Applicant: **Resurrection Orthodox Cathedral Inc. represented by Crain Atlantis Inc.**

Proposal: Seeking Major Site Plan approval to construct additions of 4,066 square feet to the existing Cathedral and a 1,044 square foot addition to the existing Parish Hall with associated site improvements on a 1.32-acre site in the CF, Community Facilities zoning district.

Location: The property is generally described as FAIRLAWN 1ST ADD 43-31 B LOTS 1 THRU 4,7 THRU 10 BLK 14 and located at **1416 SE 2nd Terrace**.

**SUMMARY BACKGROUND/EXPLANATION**

The applicant is seeking approval for a major site plan on a 1.32-acre site to construct additions to the existing 5,145 square foot Parish Hall and 3,049 square foot Cathedral. The proposal consists of a 1,044 square foot addition to the existing Parish Hall and a 4,066 square foot addition to the existing Cathedral. Additionally, the applicant is proposing architectural improvements to the facades of the existing building with the inclusion of site improvements including new landscaping, new parking improvements, which reflect reconfiguration of the existing parking lot with ADA access, a new sodded parking area and closing off of the existing SE entrance for the relocated dumpster location.

The Parish Hall is proposed to be 24 feet 3 inches high, while the Cathedral is proposed to be 66 feet high as measured to the top of the church spire with no underlying maximum height restriction in the CF zoning district. The architecture meets the minimum building design standards outlined in the City's Land Development Code Section 78-7(b).

Per Section 98-19(5) of the Code, the City is requiring a 5-foot public easement abutting the local roads of SE 14th Place, SE 2nd Terrace, and SE 3rd Avenue, which is reflected on both the survey and dedication sketch and legal.

The Planning and Zoning Division is unaware of any historical significance of the property or prior historical activities associated with the site.

On November 25, 2025, the item was heard and approved by the Community Appearance Board.

Daniel Mantell, Planning and Zoning Manager, stated that 136 public notices were mailed, two were returned undeliverable, and no letters of approval or objection were submitted. Thereafter, he provided a brief overview of the item.

Carlos A. Gonzalez, 1193 Newport Center Drive, Deerfield Beach, representing the applicant, highlighted a brief PowerPoint presentation. He stated that the applicant is seeking to renovate and expand the existing Cathedral and Parish Hall, along with associated site improvements.

In response to Mr. Chancy's question, Alex Lupiano, 3567 South Ocean Boulevard, Highland Beach, applicant, explained that the church bells would not be rung frequently; nonetheless, the blagovest bell is rung prior to liturgy, funerals, and wedding services, but the sound is not loud, and the volume would be controlled by church personnel.

In response to Vice Chair Beckford's question, Mr. Lupiano replied that there are currently no active services at the site, and although the existing building has bells, he believes they were used prior to services being discontinued.

Mr. Mantell reminded the Board that they will only be voting on the site application this evening.

Chair Bennett spoke in support of the project. Thereafter, he opened the public hearing.

**Mark Paris, 306 SE 14th Street, Deerfield Beach**, asked about the Cathedral's seating capacity, whether the 42 proposed parking spaces would be sufficient, and requested information regarding construction logistics and the project timeline.

In response to Mr. Paris' questions, Chair Bennet replied that the zoning district requires a minimum of 41 parking spaces and that 42 are provided. Further, he stated that the staff report indicated the project would not result in a significant traffic impact.

In response to Mr. Paris' questions, Mr. Gonzalez replied that liturgical services would not exceed 80 attendees at any given time and that construction would occur in two phases to minimize noise and impacts to the surrounding neighborhood.

In response to Chair Bennett's question, Mr. Mantell replied that sodded parking is permitted under the Land Development Code only for church uses and public or private schools.

In response to Ms. Balaun's question, Mr. Gonzalez replied that a plastic support system would be installed beneath the sod, similar to methods commonly used in Europe.

George M. Petrocelli, 1193 Newport Center Drive, Deerfield Beach, representing the applicant, explained that the sodded parking areas are required by Broward County and would assist with drainage and flood mitigation.

Norman LoPresto, 11500 NW 49th Court, Coral Springs, LoPresto Builders, Inc. stated that typical construction hours are from 7:00 a.m. to 3:30 p.m. He invited the public to visit a current project in Coconut Creek at the Apostolic Mission of Christ, located at 2370 Hammock Boulevard, and assured the Board that site cleanliness and noise mitigation would be maintained throughout construction.

In response to Mr. Paris’ question, Chair Bennett replied that the maximum occupancy of the Cathedral is 80 persons.

Mr. Mantell explained that occupancy is determined through the Development Review Committee and Fire Department review process and would be enforced during permitting and inspections.

Chair Bennett closed the public hearing.

Mr. Porter made a motion, seconded by Vice Chair Beckford to approve Application 88-CF-14 as submitted. The motion CARRIED by unanimous vote.

**STAFF REPORT**

*Next meeting* - Daniel Mantell, Planning and Zoning Manager, said the next meeting will be held on February 5, 2026.

*Assistant Director of Planning and Development Services* - Mr. Mantell introduced Heather Waldstein.

Chair Bennett congratulated Ms. Waldstein and welcomed her to the City.

**CHAIRMAN'S**

None.

**MEMBERS' REPORTS**

None.

**ADJOURNMENT**

Vice Chair Beckford made a motion, seconded by Mr. Lane to adjourn the meeting at 7:39 p.m. The motion CARRIED by unanimous vote.

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Brian Bennett, Chair  
 Planning and Zoning Board

**DEERFIELD BEACH  
PLANNING & ZONING BOARD**

**Agenda Item #1  
Thursday, March 5, 2026**

**APPLICATION 83-B1-11 Rev. 8**

**Applicant: MEDALLION DEERFIELD 3701 LLC REPRESENTED BY PARAGON DEVELOPMENT LLC**

**Proposal:** Seeking Major Site Plan approval to construct a new 2,036 square foot building with associated site improvements on an outparcel of a greater 5.5-acre site in the B-1, Community Business zoning district. Site improvements to include associated parking, drive-thru lanes, drainage, dumpster enclosure, landscaping improvements and a pedestrian connection to the public right-of-way.

**Location:** The property is generally described as GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS, BEG AT NW COR, SLY 298.06, ELY FOR 297.33, NLY 84, ELY 203.60, NLY 209.50, WLY 495.98 TO POB & LESS PT K/A PUMPING STATION SITE & LESS PART DESC IN OR 15251/989 9-146 B & LESS POR DESC AS BANK LEASE PARCEL and GRAND UNION DEERFIELD BEACH 117-12 B PORTION OF PARCEL A DESC AS COMM AT SW COR SAID PAR A, N 6.10, NE 8.35, E 61 TO POB, N 164.87, E 111.90, S 16.85, E 27.94, S 154.05, NW 57.25, W 82.99 TO POB, LESS THAT PORTION PER MMB 9-146 B AKA: BANK LEASE PARCEL and located at 3701 West Hillsboro Boulevard.

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**SUMMARY BACKGROUND/EXPLANATION**

The applicant, Medallion Deerfield 3701 LLC, is seeking Major Site Plan approval to construct a new one-story 2,036 square foot Fifth Third Bank with associated site improvements on an outparcel of a greater 5.5-acre site. Site improvements include associated parking, drive thru lanes, drainage, dumpster enclosure, landscaping improvements and a pedestrian connection to the public right-of-way.

The building is proposed to be 18 feet 9 inches high, and the maximum height allowed in the B-1 zoning district is 45 feet. The architecture meets the minimum design standards outlined in the City's Land Development Code Section 78-7(b).

The Planning and Zoning Division is unaware of any historical significance of the property or prior historical activities associated with the site.

On January 28, 2026, the item was heard and approved by the Community Appearance Board.

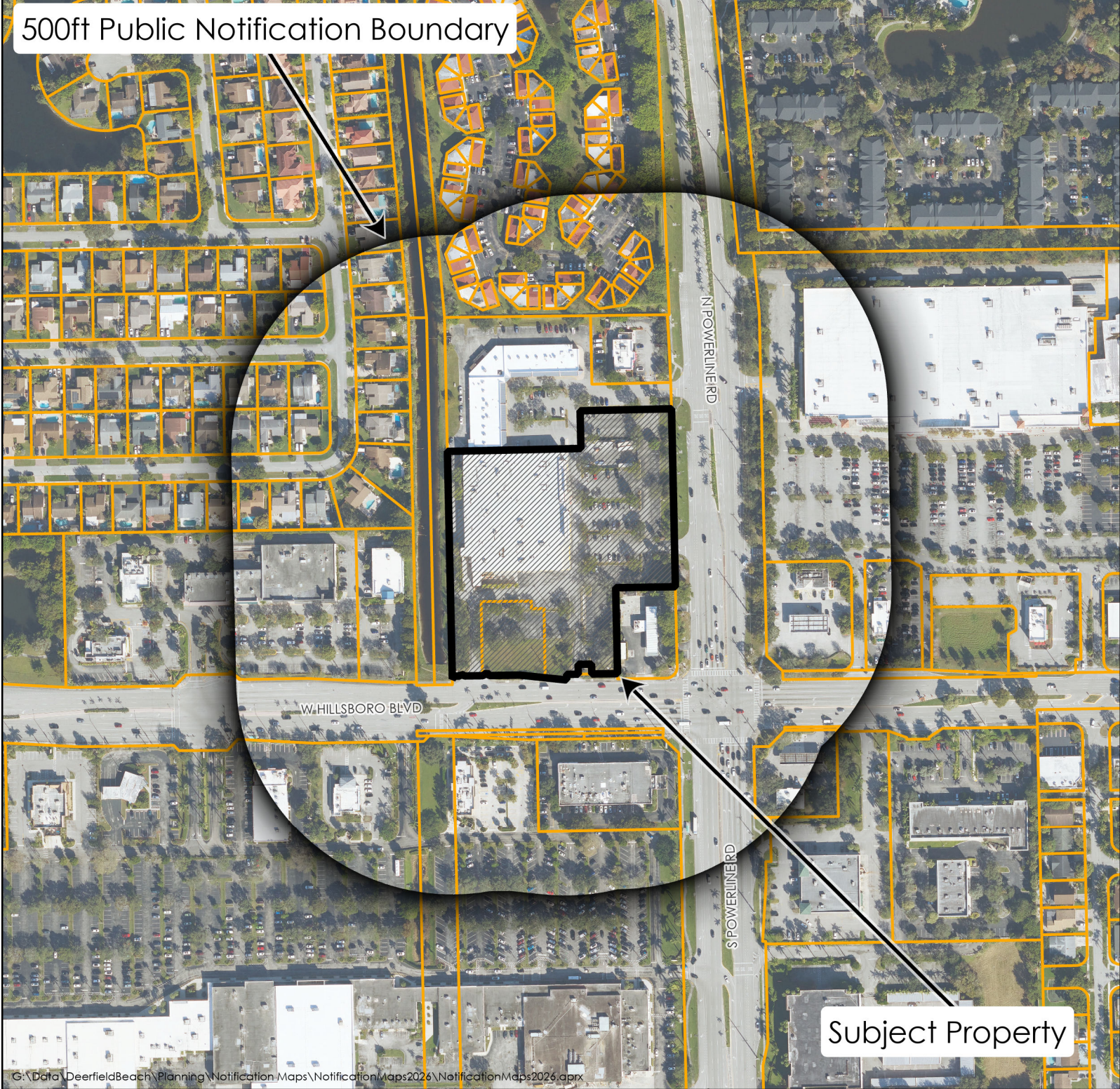
**REQUESTED ACTION**

Recommendation to the City Commission on the proposed major site plan application.

**ATTACHMENT:**

Notification letter and map  
Staff Development Review Report  
Staff DRC Comments  
Site Plan Applications, Plans & Sketch and Legal

500ft Public Notification Boundary



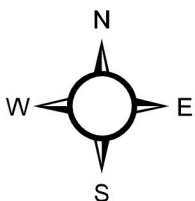
Subject Property

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# Public Hearing Notice Map

## App 83-B1-11 Rev. 8

### 3701 West Hillsboro Blvd



For additional information  
 call the Planning Department at 954-480-4206  
 or visit [www.deerfield-beach/boardagendas](http://www.deerfield-beach/boardagendas)





## PUBLIC NOTICE

### APPLICATION 83-B1-11 Rev. 8

February 13, 2026

Dear Property Owner:

This is to notify you that the **PLANNING AND ZONING BOARD** of the City of Deerfield Beach, a municipal corporation of Florida, shall hear an application for:

### **Fifth Third Bank Represented by Paragon Development LLC.**

Seeking Major Site Plan approval to construct a new 2,036 square foot building with an accompanied drive through and associated site improvements on an existing 5.5-acre site in the B-1, Community Business zoning district. The property is generally described as GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS, BEG AT NW COR, SLY 298.06, ELY FOR 297.33, NLY 84, ELY 203.60, NLY 209.50, WLY 495.98 TO POB & LESS PT K/A PUMPING STATION SITE & LESS PART DESC IN OR 15251/989 9-146 B & LESS POR DESC AS BANK LEASE PARCEL and GRAND UNION DEERFIELD BEACH 117-12 B PORTION OF PARCEL A DESC AS COMM AT SW COR SAID PAR A, N 6.10, NE 8.35, E 61 TO POB, N 164.87, E 111.90, S 16.85, E 27.94, S 154.05, NW 57.25, W 82.99 TO POB, LESS THAT PORTION PER MMB 9-146 B AKA: BANK LEASE PARCEL and located at **3701 W Hillsboro Boulevard**.

A public hearing will be held on **THURSDAY, March 5, 2026, at 7:00 P.M.** in the **City Hall Commission Chambers, located at 150 NE 2<sup>nd</sup> Avenue, Deerfield Beach, FL 33441**. All interested parties may appear in person to offer evidence in support of or against the proposal. Further information may be obtained at [www.deerfield-beach.com/boardagendas](http://www.deerfield-beach.com/boardagendas) or you may contact the Planning Office during business hours in City Hall, 150 N.E. 2<sup>nd</sup> Avenue, Deerfield Beach, FL 33441, phone: (954) 480-4206.

Any person wishing to appeal any decision made by the Planning and Zoning Board with respect to any of the above, will need a record of the proceedings and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. The above notice is required by State Law (FS 286.0105.) **Anyone desiring a verbatim transcript shall have the responsibility, at his/her own expense, to arrange for the presence at the hearing of a certified court reporter.** A full transcript of the proceedings will be needed in order to appeal any decision of the Board. If anyone requires auxiliary aids for communication, please call (954) 480-4206.



# Development Review Committee Summary Report Development Plan Application Review

## General Information

<b>Application No.</b>	83-B1-11 Rev. 8
<b>Project Name:</b>	Fifth Third Bank
<b>Applicant:</b>	Medallion Deerfield 3701 LLC
<b>Agent:</b>	Paragon Development LLC
<b>Requested Action/Description:</b>	Seeking Major Site Plan approval to construct a new 2,036 square foot building with associated site improvements on an outparcel of a greater 5.5-acre site in the B-1, Community Business zoning district. Site improvements to include associated parking, drive-thru lanes, drainage, dumpster enclosure, landscaping improvements and a pedestrian connection to the public right-of-way.
<b>Location:</b>	3701 West Hillsboro Boulevard
<b>Legal Description:</b>	Generally described as GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS, BEG AT NW COR, SLY 298.06, ELY FOR 297.33, NLY 84, ELY 203.60, NLY 209.50, WLY 495.98 TO POB & LESS PT K/A PUMPING STATION SITE & LESS PART DESC IN OR 15251/989 9-146 B & LESS POR DESC AS BANK LEASE PARCEL and GRAND UNION DEERFIELD BEACH 117-12 B PORTION OF PARCEL A DESC AS COMM AT SW COR SAID PAR A,N 6.10,NE 8.35, E 61 TO POB, N 164.87,E 111.90,S 16.85,E 27.94,S 154.05, NW 57.25,W 82.99 TO POB,LESS THAT PORTION PER MMB 9-146 B AKA:BANK LEASE PARCEL
<b>Size:</b>	7.21 (gross) / 5.5 acres (net)
<b>Existing Zoning:</b>	B-1, Community Business

# Department Comments & Requirements

**Existing Land Use:** Commercial

**Future Land Use Plan Designation:** Commercial

**Surrounding Land Use and Zoning:**

	<u>Existing Land Use</u>	<u>Zoning</u>
<b>North:</b>	Commercial	B-1, Community Business
<b>East:</b>	Commercial	B-1, Community Business
<b>South:</b>	Commercial	B-2, Highway Business
<b>West:</b>	Commercial and Residential Low (5 DU/AC)	B-1, Community Business and RS-5 residence, single-family

**Applicable Regulations:** Deerfield Beach Land Development Code

**Plat Restrictions:** None

**REQUEST:**

The Applicant, Medallion Deerfield 3701 LLC, is seeking Major Site Plan approval to construct a new one-story 2,036 square foot building with associated site improvements on an outparcel of a greater 5.5 -acre site in the B-1, Community Business zoning district.

**BACKGROUND:**

The applicant, Medallion Deerfield 3701 LLC, is seeking Major Site Plan approval to construct a new one-story 2,036 square foot Fifth Third Bank with associated site improvements on an outparcel of a greater 5.5-acre site. Site improvements include associated parking, drive-thru lanes, drainage, dumpster enclosure, landscaping improvements and a pedestrian connection to the public right-of-way.

The building is proposed to be 18 feet 9 inches high, and the maximum height allowed in the B-1 zoning district is 45 feet. The architecture meets the minimum design standards outlined in the City's Land Development Code Section 78-7(b).

The Planning and Zoning Division is unaware of any historical significance of the property or prior historical activities associated with the site.

On January 28, 2026, the item was heard and approved by the Community Appearance Board.

## SUMMARY OF DEVELOPMENT REVIEW COMMITTEE COMMENTS:

The application has been reviewed by the Development Review Committee (Planning & Zoning, Landscape, Environmental Services, Sanitation, Fire). Staff comments have been addressed and the application is considered to be in compliance with the Land Development Code. Staff DRC comments are attached to this report.

## PLANNING CONSIDERATIONS:

1. Compliance with the Comprehensive Plan. Per Section 98-9, no permit or approval for the development of land shall be approved which does not comply with the goals, objectives, and policies (GOPs) of the Deerfield Beach Comprehensive Plan. The Future Land Use (FLU) Map designation identifies the site as Commercial. The proposed bank is allowed in the underlying land use designation.
2. Land Development Requirements: Pursuant to the City of Deerfield Beach official zoning map, the property is currently located within the B-1 Community Business zoning district. The proposed development complies with all the zoning requirements for the B-1 Community Business zoning district, and the proposed bank is permitted within that zoning district.
3. Finding of compatibility of a proposed development with adjacent and neighboring (500 feet) uses and zoning; Per Section 98-17(15), there must be a finding of compatibility as defined in the Land Development Regulations, between adjacent and neighboring uses (500-feet) and the proposed development. By definition, compatibility is to be measured based on the following compatibility characteristics of the proposed development in relationship to the immediate surrounding area:

*(a) Permitted uses, structures, and activities allowed within the zoning category;*

The proposed use is permitted within the B-1 Community Business zoning district, and the proposed building is designed to meet all required setbacks and bulk Community Business requirements in that zoning district.

*(b) Building location, dimensions, height, and floor area;*

The proposed building is located 39.95 feet from the front (south) property line, 191.54 feet and 123.71 feet from the side (east and west) property lines and roughly 387.62 feet from the rear (north) property line. The proposed building exceeds all setback requirements. The proposed building is 18 feet 9 inches high as measured to the top of the roof parapet. All bulk requirements for this zoning district are met.

Development standards require a minimum of 15% landscaping. The total development with the inclusion of the outparcel site proposes 23% landscaping.

*(c) Location and extent of parking, access drives and service areas;*

The proposed development meets the parking requirements pursuant to Schedule B in the Land Development Code (Code) for General commercial business, which requires 7 parking spaces for the bank use. The site as a whole requires 185 parking spaces where 186 is provided. The number of parking spaces for the bank meets the amount required by Code.

*(d) Traffic generation, hours of operation, noise levels, and outdoor lighting;*

The proposed site improvements will generate fewer than 500 vehicle trips per day and did not require review by the City's traffic engineering consultant. The site and nature of the use is in a location where noise will be minimal and will not impact surrounding uses. The proposed outdoor lighting meets the code requirements for lighting.

*(e) Alteration of light and air;*

The proposed 18 foot 9-inch-high building as measured to the top of the roof parapet exceed the setback requirements for the B-1 Community Business zoning district and thus provide more light and air, than what would be allowed by the zoning regulations.

*(f) Setbacks and buffers – Fences, walls, landscaping, and open space treatment. To be compatible, design treatments must reflect consideration of adjoining and surrounding development and land use;*

The proposed development exceeds all setback requirements. The applicant proposes landscape along the perimeter of the property which exceeds the minimum required by code.

*(g) Conditions, uses or activities which pose a significant risk to the safety or security to those under 18 years of age using schools, churches, parks, playgrounds or other facilities which cater to those under 18 years of age;*

The applicant is not proposing any use or activity that would pose a significant risk to the safety or security of those less than 18 years of age in the 500-foot vicinity.

*(h) Outside activities associated with the proposed use which could interfere with the peace and/or tranquility of residences or pose a significant risk to the safety or security of children in public or private schools, daycare facilities, churches, parks, playgrounds, and other places that cater to children under the age of 18 or places which regularly provide facilities for such children to gather; and*

There are no places where children under the age of 18 gather, on the subject site. The building is considerably setback from the abutting property lines and is surrounded by similar commercial uses. No schools, daycare facilities, or parks surround the property.

*(i) Conditions, uses, or activities which could pose a significant risk to the safety or security of single-family residences within 500 feet of the lot upon which the use will occur.*

The proposed use is comprised of a new one-story 2,036 square foot Fifth Third Bank with associated site improvements including associated parking, drive-thru lanes, drainage, dumpster enclosure, landscaping improvements and a pedestrian connection to the public right-of-way. The subject property is located within 500 feet of residential uses and would not pose a significant safety or security risk.

## **SUMMARY & REQUIREMENTS**

Staff's review of application 83-B1-11 Rev. 8 has found that the proposed project is consistent with the goals, objectives, and policies of the Future Land Use Element of the Deerfield Beach Comprehensive Plan, and the proposed use is permitted per the Land Development Code.

## Development Plan Application Comments



# DEVELOPMENT REVIEW COMMITTEE

<b>Project Name:</b>	Fifth Third Bank	<b>Application No.:</b>	83-B1-11 Rev. 8
<b>Reviewer Name:</b>	Daniel Mantell	<b>Project Address:</b>	3701 W Hillsboro Blvd
<b>Department/Division:</b>	Planning & Development Services		
<b>Position:</b>	Planning & Zoning Manager		
<b>Date of Review:</b>	1-16-2026		
<b>Submittal No.:</b>	5		

<b>A.</b>	<b>GENERAL COMMENTS:</b>	
1.		Update the project name on the Development Application to reflect Fifth Third Bank. Furthermore, update all additional titles to reflect Fifth Third Bank.
1a.		Comment still applies. 7/7/2025
1b.		Comment addressed. 9/12/2025
2.		The project coordinator. Daniel Mantell, shall be the primary point of contact between the applicant and the City during the DRC process. The applicant shall not contact a City consultant without first contacting the project coordinator. Furthermore, the applicant must notify or copy via email any conversation or contact the applicant has with separate division or department of the City.
2a.		Comment acknowledged. 7/7/2025
3.		Per Sec. 98-35 All applications proceeding to City Commission shall comply with requirements for public notice, including payment of all required public notification fees, submittal of all documents and labels for notice to property owners, on-site signage, and newspaper publishing. Applicants are only permitted to begin the public notification process upon determination by Planning & Zoning staff that the item has been scheduled for an upcoming public hearing. The Public Notice Checklist can be accessed at <a href="http://www.deerfield-beach.com/DocumentCenter/View/12586/Public-Notice-Checklist">http://www.deerfield-beach.com/DocumentCenter/View/12586/Public-Notice-Checklist</a>
3a.		Comment acknowledged. 7/7/2025
4.		For items being heard by City Commission, a cost recovery fee shall be paid by check to the City of Deerfield Beach for electronic document remediation of the application in order to comply with Title III of the Americans with Disabilities Act. The fee will be payable by the Applicant once the City receives the invoice.
4a.		Comment acknowledged. 7/7/2025
5.		Provide evidence that the wording of the plat note amendment, as submitted in this application, meets approval from Broward County Urban Planning Division.
5a.		Comment still applies. Provide confirmation from Broward County that a plat note amendment is not needed. Reach out to the Broward County Urban Planning

## Development Plan Application Comments

	Division – Lu-Chong, Jennifer <a href="mailto:JLUCHONG@broward.org">JLUCHONG@broward.org</a>									
5b.	Comment addressed. 9/12/2025									
6.	The initial site plan application fee includes the first review plus two resubmittals. Per Section 98-13(b)(4) and as provided in the City's fee schedule (Resolution 2018/194), any resubmittal after the 3rd site plan review requires a fee of 30% of the initial application fee to be submitted for each submittal thereafter, which will be \$648.00.									
6a.	Comment acknowledged. 7/7/2025									
7.	Per the requirements of Chapter 98-17.1 the applicant is required to pay impact fees for Public Safety and Parks. Payment of these fees are due at the time of Building permit submittal. Please note that if the project changes in size or intensity, the below calculations may also change. An impact fee calculation sheet will be given to the applicant when the project is complete. <table style="margin-left: 40px; border-collapse: collapse;"> <tr> <td style="padding-right: 20px;">1.</td> <td style="padding-right: 20px;">Fire Rescue</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>2.</td> <td>Police</td> <td style="text-align: right;">\$</td> </tr> <tr> <td>3.</td> <td>Parks</td> <td style="text-align: right;">\$</td> </tr> </table>	1.	Fire Rescue	\$	2.	Police	\$	3.	Parks	\$
1.	Fire Rescue	\$								
2.	Police	\$								
3.	Parks	\$								
7a.	Comment acknowledged. 7/7/2025									
8.	Prior to the issuance of a building permit, the applicant must receive a Certificate of Concurrency Letter from the Planning and Development Services Department. This letter will serve as the Development Permit as required under Section 98-18 of the Land Development Code of the City of Deerfield Beach for approval of the site plan.									
8a.	Comment acknowledged. 7/7/2025									
9.	A Building permit will not be issued until the applicant has also received approval of an Engineering permit for the Environmental Services Department.									
9a.	Comment acknowledged. 7/7/2025									
10.	Contact Broward County Resilient Environment Department, Urban Planning Division, Development and Environmental Review, 954-357-6666, Option 2, DERPLans@broward.org for the issuance of the Transportation Concurrency Certificate and Environmental Certificate.									
10a.	Comment acknowledged. 7/7/2025									
11.	As with all developments in Deerfield Beach, before a building permit can be issued, this development must receive approval from the Broward County Resilient Environment Department, Urban Planning Division, Development and Environmental Review, 954-357-6666, Option 2, DERPLans@broward.org									
11a.	Comment acknowledged. 7/7/2025									
12.	Per Section 98-14(f) An application for development plan shall be deemed to have been abandoned becoming null and void after six months of inactivity. If an application has no activity within this time frame, then a new application for development plan along with all applicable fees shall be submitted should the applicant wish to proceed with the project.									
12a.	Comment acknowledged. 7/7/2025									
13.	Be advised that based on the corrections requested, additional DRC comments may be forthcoming following resubmittal.									
13a.	Comment acknowledged. 7/7/2025									

## Development Plan Application Comments

14.	Community Appearance Board approval is required prior to approval of site plan. Staff will notify the applicant once application submittal is to be scheduled as item on an agenda. The applicant shall provide both existing and proposed elevations to determine building facades will complement each other. Once staff has advised the item is ready to be scheduled for CAB, submit five (5) sets of revised plans in 11" x 17" with Community Appearance Board application, which include colored building elevations and complete site plan sets.
14a.	Comment acknowledged. 7/7/2025
15.	Provide drainage calculations.
15a.	Comment addressed. 7/7/2025
NEW COMMENTS 9/12/2025	
16.	Do not cloud changes based on DRC comments. Only modifications to plans previously approved by the City Commission, intended to replace an existing approved plan should be clouded to show all proposed changes.
16a.	Comment still applies. The landscape plans still provide clouding. 12/24/2025
16b.	Comment addressed. 1/20/2026

**B. APPLICATION COMMENTS:**

1.	Provide clarity regarding the proposed use. Will the proposed use be part of the overall property or separated under separate ownership? The setbacks and conditions may be different, including the need for cross access, ownership and maintenance of these new retention areas.
1a.	Comment addressed. Ownership intends to lease the bank and maintain land ownership and maintenance. 7/7/2025
2.	Per Section 98-13(b)(5) Provide disclosure affidavits for all owners and representatives acting on behalf of the application. Provide a disclosure affidavit for property ownership.
2a.	Comment addressed. 7/7/2025
3.	Per Section 98-13(b)(8) At a minimum, six hard copies (five copies with sheet format of 24 inches x 36 inches and one copy with sheet format of 11 inches x 17 inches) and two electronic copies (provided electronically and digitally signed), in which all pages are signed and sealed as well as being consistently scaled using a measurement found on a civil engineer's scale. Location plans, master plans, elevations and floor plans are exempt from this scale requirement.
3a.	Portion of comment still applies. Survey, site plan, landscape plans, irrigation plans and photometric plans must be consistently scaled. 7/7/2025
3b.	Comment still applies. Survey, site plan, landscape plans, irrigation plans and photometric plans must be consistently scaled. The survey scale is not consistent with the site plan, landscape plans, irrigation plans and photometric plans. 9/12/2025
3c.	Comment addressed. 12/24/2025
4.	Per Section 98-13(b)(8), The applicant is required to provide the development plan in the required sheet order. Revise the plan sheets to be in the following order: Cover Page, Survey, Site Plan, Site Plan Details (as needed), Elevations, Floor Plans, Landscape Plan, Irrigation Plan, Photometric Plan. Ensure all sheet numbers are accurate. As supplied, there are inconsistencies between the sheet

## Development Plan Application Comments

	index and plan set. While the sheet index states the floor plan is sheet A-100 the plan set reflects A-110, the sheet index states the photometric is sheet E-5 while the plan set reflects E-6. Additionally, sheet A-120 is in the plan set but not sheet index. Update accordingly. Lastly, ensure are sheet titles on the sheet index match the sheet titles on the individual sheets.
4a.	Comment addressed. 7/7/2025
5.	Per Section 98-13(8)(j) The attached document titled Conceptual Engineering Plan are advisory comments and shall be addressed upon submittal of the engineering permit. Applicant must not resubmit conceptual engineering plan sets or address these comments during the DRC process.
5a.	Comment acknowledged. 7/7/2025
6.	Per Section 98-14(j), Expiration or extension of site plan approval. A site plan approval shall expire 18 months following the date of approval unless a building permit for a principal building as required by the Florida Building Code, has been issued to the applicant and kept in force so that work is proceeding towards a completion of the site and project in a commercially reasonable time.
6a.	Comment acknowledged. 7/7/2025
7.	Provide a master plan page that clouds and removes the overall parking of the existing site to justify the changes to the total parking for the plaza.
7a.	Comment addressed. 7/7/2025

**C. COVERPAGE:**

1.	Per comment B3 above, update the sheet index to accurately reflect the sheet numbers and title of the individual sheets.
1a.	Comment addressed. 7/7/2025
2.	Per Section 98-13(8)(a)(3) Provide a location map showing adjacent land use and zoning and all curbs and median cuts within 300 feet.
2a.	Comment addressed. 7/7/2025

**D. SURVEY:**

1.	Per Section 98-13(8)(b)(2) Show existing natural features, including trees and other vegetation and soils (unless provided as a separate page), etc.
1a.	Comment addressed. 7/7/2025
2.	The existing parking breakdown is not consistent with the site plan parking details. Ensure all references are consistent and accurate. Adjust accordingly.
2a.	Comment addressed. 7/7/2025
3.	Survey does not reflect parceling of the bank site as shown on the Broward County Property Appraiser's GIS website.
3a.	Comment addressed. 7/7/2025

**E. SITE PLAN:**

1.	Per Section 98-13(8)(c)(12) Provide adequate accessibility of proposed roadways for emergency vehicles, fire engines, garbage service, and any necessary delivery service.
1a.	Comment addressed. 7/7/2025

## Development Plan Application Comments

2.	Per Section 98-88(e), The parking plan must be so arranged that each automobile may be placed and removed from the parking space assigned thereto and taken to and from the property without the necessity of moving any other automobile to complete the maneuver or backing into a right-of-way to complete the maneuver.
2a.	Comment addressed. 7/7/2025
3.	Clarify and demonstrate how the drive thru lane is also acting as an escape lane. Additionally, provide clarity how the diagonal parking along north side of the site will be safely accessed by users when there are 2 teller and ATM drive thru bays.
3a.	Comment addressed. 7/7/2025
4.	Within the diagonal parking along the north side of the site, there is an indication of a drain system which conflicts with the location of raised curb. Provide clarity and adjust accordingly.
4a.	Comment addressed. 7/7/2025
5.	Provide clarity how access to the dumpster will serviced by service vehicles.
5a.	Comment addressed. 7/7/2025
6.	Staff strongly recommends removing the diagonal parking along the north side and proposing a continuation of the 90-degree parking to the north of the proposed location of the diagonal spaces. Additionally, flip the dumpster as well to face north to avoid any conflicts. Provide an access path from these parking spaces across the drive thru lanes to the bank.
6a.	Comment addressed. 7/7/2025
7.	Provide clarity how the user of the ADA space will safely traverse in and out of the space. In order to leave the bank site, they would have to back into the 1-way drive thru in order to leave.
7a.	Comment addressed. 7/7/2025
8.	Per Section 98-13(8)(c)(7) Provide existing and proposed light pole locations.
8a.	Comment addressed. 7/7/2025
9.	The proposed setbacks provided in the site data table should reflect the setbacks for the proposed bank not the existing building on site. Additionally, clearly dimension all setbacks on the site plan as measured from the edge of proposed building to the abutting property lines. Ensure the setbacks provided in the site data table are consistent with the dimensioned setbacks.
9a.	Comment addressed. 7/7/2025
9.	The proposed building height in the site data table should reflect the proposed building height for the bank, not the existing building. Adjust accordingly. Ensure the building height provided in the site data table is consistent with the dimensioned building height on the elevation sheets.
9a.	Comment addressed. 7/7/2025
10.	Within the site data table, the total vehicle parking is based on the total square footage. Clarify why the total square footage is utilizing 54,996 square feet and not 60,506 square feet. What does the deduction of 5,510 square feet reflect? Provide clarity. Additional comments may be forth coming.
10a.	Comment addressed. 7/7/2025
11.	Within the site data table, breakdown the parking allocation based on use.
11a.	Comment addressed. 7/7/2025
12.	Within the site data table, further breakdown the building square footage based on existing and proposed uses.
12a.	Comment addressed. 7/7/2025
13.	Per schedule C of the Land Development Code, the entry choke point to the bank site must be a minimum of 25' in width, not 24' Adjust accordingly.

## Development Plan Application Comments

13a.	Comment addressed. 7/7/2025
14.	Provide the length dimension of the far west diagonal parking space along the north side of the site. In doing so, show that the angled parking space meets the minimum dimensional requirements of schedule C of the Land Development Code.
14a.	Comment addressed. 7/7/2025
15.	Per Section 98-88(f), Each parking space required and provided pursuant to the provisions of this article shall be distinguished and separated from adjoining parking spaces by means of three-inch painted stripes.
15a.	Comment addressed. 7/7/2025
16.	Per Section 98-80, If a private driveway intersects with any public rights-of-way, no sight distance obstruction will be permitted within the ten-foot by 50-foot triangular area formed by the intersection of each side of the driveway and the ultimate rights-of-way or property lines with the driveway side of the triangle being ten feet in length, the public rights-of-way side of the triangle being 50 feet in length, and the third side of the triangle being the line connecting the ends of the two other sides.
16a.	Comment addressed. 7/7/2025

### F.

<b>SIGNS:</b>	
1.	Provide details regarding the proposed monument sign – elevation renderings, height and width dimensions, text height and area location. Additional comments may be forth coming.
1a.	Ensure that the supplied dimensions are accurate. The width of the sign seems to show a width of 8'0" and 10'7 11/16". Provide clarity. Per code section 102-8, based on the proposed setback the maximum sign height is limited to 8', maximum size of sign structure is 48 square feet and maximum size of sign face within the structure is 24 square feet.
1b.	Comment addressed. 9/12/2025
2.	Provide additional details regarding the proposed wall signs. In doing so, show that the requirements of Chapter 102 are being met. <a href="https://library.municode.com/fl/deerfield_beach/codes/land_development_code?nodeld=SPBLADECO_CH102SICO">https://library.municode.com/fl/deerfield_beach/codes/land_development_code?nodeld=SPBLADECO_CH102SICO</a>
2a.	Comment addressed. 7/7/2025
3.	Per code section 102-8, the total sign area shall be computed by allowing one sign per street frontage comprising one square foot for each linear foot of building or tenant frontage. When the linear footage of building/tenant frontage wall face is 32 square feet or less, the maximum square footage of signage is 32 square feet. When the linear footage of a building/tenant frontage wall face is 100 feet or more, the maximum square footage of signage is 100 square feet.
3a.	Comment addressed. 7/7/2025
4.	Per code section 102-11(b)(5)(e), Buildings built as out-parcels in front of commercial shopping centers or office buildings may have two additional wall signs; One located at the rear and another on either side elevation of the building. The signs shall match the primary facade wall sign in color, illumination method and method of construction.
4a.	Comment addressed. 7/7/2025
5.	Per code section 102-8, the wall signs must be centered both vertically and horizontally on the sign background unless an architectural feature of the building prohibits the centering of the sign.
5a.	Portion of initial comment still applies. Signs S02 and S03 are not centered

## Development Plan Application Comments

	horizontally on the sign background.
5b.	Comment addressed. Discussed internally. 9/12/2025
6.	Provide additional details regarding the directional signage proposed. In doing so, show that the proposed signage meets the requirements of code section 102-8(d).
6a.	Comment addressed. 7/7/2025
7.	Per Section 98-13(8)(d)(2) Provide the general location of building wall signs and conceptual monument sign. Don't provide specific verbiage just the proposed location with dashed lines.
7a.	Comment addressed. 7/7/2025
8.	What is the intent with the existing monument sign? Will it be removed? Per code section 102-8(B)(2), the freestanding monument sign shall not be closer than 100 feet to any other freestanding monument sign (except as otherwise expressly provided herein).
8a.	Comment addressed. 7/7/2025
NEW COMMENTS 7/14/2025	
9.	All staff comments must be responded to. Do not simply redirect to the signage package.
9a.	Comment addressed. 9/12/2025
10.	Add the dimensions of the sign band where the building wall signs are proposed. For text height, the sign background shall be considered in determining the size of the sign as well as the heights of allowable text. Signs may utilize no more than 75 percent of the vertical height of the background, where the sign is located, and no more than 75 percent of the horizontal length of any background space on which the sign is located.
10a.	Portion of comment still applies. The vertical height of the sign band is not dimensioned clearly. Revise accordingly. The sign bands vertical height should be measured from the horizontal scoring line to the bottom of the metal coping. Ensure the 75% maximum is not being exceeded. 9/12/2025
10b.	Comment still applies. The signage calculations are still not accurate and do not reflect the sign band dimensions. As provided, you are utilizing the total building length and building height to determine the horizontal and vertical signage calculations. You must utilize the sign band dimensions. 12/24/2025
10c.	Comment addressed. 1/22/2026

### G.

<b>ELEVATIONS:</b>	
1.	Provide elevation details of the dumpster enclosure.
1a.	Comment addressed. 7/7/2025
2.	Ensure the elevation renderings are labeled correctly. It appears what's label as the south elevation is the north elevation and what's label as the north elevation is the south elevation. Adjust accordingly.
2a.	Comment addressed. 7/7/2025
3.	As stated in comment E (6), per Section 98-13(8)(d)(2) Provide the general location of building wall signs and conceptual monument sign. Don't provide specific verbiage just the proposed location with dashed lines.
3a.	Comment addressed. 7/7/2025
4.	Per Section 98-13(8)(d)(3) Show the location of all mechanical equipment showing adequate concealment. Provide a notation on plans: "All Mechanical Equipment located on the roof will be fully screened from adjacent street view and buffered to eliminate noise".

## Development Plan Application Comments

4a.	Comment addressed. 7/7/2025
5.	Per Section 98-13(8)(d)(4) Show the height of all buildings, overhangs, and canopies. Must provide a minimum 14-foot height for fire access.
5a.	Comment addressed. 7/7/2025
6.	Provide a note on the elevation plan stating that all signs require a separate building permit.
6a.	Comment addressed. 7/7/2025

### H. FLOOR PLANS:

1.	Provide individual room square footages.
1a.	Comment addressed. 7/7/2025

### I. LANDSCAPING PLAN:

1.	Per Section 98-13(8)(f)(1) Provide a plan scaled consistently with the site plan, showing all buildings, structures, landscape areas and on-site parking and lighting.
1a.	Comment addressed. 7/7/2025
2.	Ensure proper sight triangles are being utilized on Hillsboro Blvd. Per Section 98-80, If a private driveway intersects with any public rights-of-way, no sight distance obstruction will be permitted within the ten-foot by 50-foot triangular area formed by the intersection of each side of the driveway and the ultimate rights-of-way or property lines with the driveway side of the triangle being ten feet in length, the public rights-of-way side of the triangle being 50 feet in length, and the third side of the triangle being the line connecting the ends of the two other sides.
2a.	Comment addressed. 7/7/2025
3.	Update the sheet orientation to be consistent with the site plan and other referenced sheets.
3a.	Comment addressed. 7/7/2025

### J. IRRIGATION PLAN:

1.	Per Section 98-13(8)(f)(1) Provide a plan scaled consistently with the site plan, showing all buildings, structures, landscape areas and on-site parking and lighting.
1a.	Comment addressed. 7/7/2025
2.	Per Section 98-13(8)(g)(5) Provide the location and label existing and proposed site lighting.
2a.	Comment addressed. 7/7/2025
3.	Update the sheet orientation to be consistent with the site plan and other referenced sheets.
3a.	Comment addressed. 7/7/2025

### K. PHOTOMETRIC PLAN:

1.	Per Section 98-13(8)(f)(1) Provide a plan scaled consistently with the site plan, showing all buildings, structures, landscape areas and on-site parking and lighting.
1a.	Comment still applies. 7/7/2025
1b.	Comment addressed. 9/12/2025
2.	Provide the specs of the proposed light poles versus what's existing on site. The proposed light poles should be consistent in design and appearance with the

## Development Plan Application Comments

	existing light poles on site.
2a.	Comment addressed. 7/7/2025
3.	Clarify why one light pole is proposed to be 40' high while the others are proposed at 25' high.
3a.	Comment addressed. 7/7/2025

**L.**

<b>ADDITIONAL COMMENTS:</b>	
1.	Prior to resubmittal, contact Daniel Mantell at <a href="mailto:dmantell@deerfieldbeachfl.gov">dmantell@deerfieldbeachfl.gov</a> and Ruthie Jusino at <a href="mailto:rjusino@deerfieldbeachfl.gov">rjusino@deerfieldbeachfl.gov</a> to schedule a Development Review Committee meeting.
1a.	Comment addressed. 7/7/2025
2.	Be advised that based on the corrections requested, additional DRC comments may be forthcoming following resubmittal.
2a.	Comment addressed. 7/7/2025

## Development Plan Application Comments



# DEVELOPMENT REVIEW COMMITTEE

<b>Project Name:</b>	3701 W Hillsboro Bank	<b>Application No.:</b>	83-B1-11 Rev. 8
<b>Reviewer Name:</b>	Harold Hoyte	<b>Project Address:</b>	3701 W Hillsboro Blvd.
<b>Department / Division:</b>	Landscape		
<b>Position:</b>	Urban Forester		
<b>Date of Review:</b>	12/29/25		
<b>Submittal No.:</b>	4		

<b>A.</b>	<b>LANDSCAPE PLAN:</b>
1.	The submitted site and landscape plans are part of a larger site, as shown on sheet LA2-00. Add note "Existing plant material outside of project impact area to remain undisturbed".
1.a	Comment addressed 7.24.25.
2.	Per Section 98-80 (e)(2), 20 large trees are required in the 5 ft. buffer; 12 are provided. Add 8 large trees to satisfy the required mix.
2.a	Comment addressed 7.24.25.
3.	Per Section 98-80 (e)(2), 8 small trees are required in the 5 ft. buffer; 6 are provided. Add 2 small trees to satisfy the required mix.
3.a	Comment addressed 7.24.25.
4.	Per Section 98-80 (e)(9), 3 interior landscape islands are required, none are provided. Add 3 to meet the intent of the code. Note the calculation is cumulative, not continuous, therefore $26/10 = 2.6$ islands.
4.a	Comment not addressed. Add 1 more interior island.
4.b	Comment not addressed. $21/10 = 2.1$ islands; Add two interior islands, 2 terminal islands have been added.
4.c	Comment addressed 12.29.25.
5.	Per Section 98-80 (e)(9), three interior landscape island trees are required, but only three are provided. Add 3 to meet the intent of the code.
5.a	Comment not addressed. Add 1 more interior island tree.
5.b	Comment not addressed. Add two more interior island trees.
5.c	Comment addressed 12.29.25.
6.	Per Section 98-80 (e)(11), 78 interior landscape island shrubs or ground cover are required. Only 40 are provided; add 38 to meet the code's intent.
6.a	Comment not addressed. Add 20 more interior island shrubs.
6.b	Comment not addressed. Add 40 more interior island shrubs.
6.c	Comment addressed 12.29.25.

## Development Plan Application Comments

7.	Per Section 98-80 (e)(8), only 7 terminal island trees are provided; add 1 to meet this requirement.
7.a	Comment addressed 7.24.25.
8.	Per Section 98-80 (e)(11) 160 terminal island shrubs or groundcover, only 120 are provided, add 40 to two islands to meet the intent of the code.
8.a	Comment addressed 7.24.25.
9.	Existing trees removed from the site must be mitigated per Section 98-81 (h). The plans submitted show the removal of an existing tree on the parcel, however, they do not show the mitigation calculation. Mitigation for non-specimen trees is 1.5 times the existing canopy. Trees and palms over and above those required shall count to reduce mitigation.
9.a	Comment addressed 7.24.25.
10.	Per Section 98-81(2)(b), mitigation, once determined, may be achieved in two ways: (1) the applicant may plant additional trees on the site to satisfy this requirement or (2) for trees that cannot be mitigated on-site, the applicant will have to pay into the Tree Preservation Trust Fund. For payment made into the fund for trees that cannot be reasonably placed on-site, see Section 98-81(2) (c), the calculation is "\$200 per three inches of caliper". Note on a plan which mitigation option is chosen and the monetary balance to be paid to the Beautification Fund. Plant more Bald Cypress to the retention areas and pay for the remaining canopy balance.
10.a	Comment not addressed. Add a note to the LA1-100 to pay \$6,300 to the fund or plant 21 more trees to LA2-00. Note: existing and required trees cannot be used to meet the mitigation requirement.
10.b	Comment addressed 9.24.25.
11.	Ensure the provided landscape area total is consistent on LA2-00 and C-104.
11.a	Comment addressed 7.24.25.
12.	Label the landscape plan's elements, including light poles, sidewalks, drives, parking, and other elements.
12.a	Comment addressed 7.24.25.

## Development Plan Application Comments



# DEVELOPMENT REVIEW COMMITTEE

<b>Project Name:</b>	<b>Fifth Third Bank</b>	<b>Application No.:</b>	<b>83-B1-11 REV8</b>
<b>Reviewer Name:</b>	<b>CAPT. MIKE HEFFERON</b>		
<b>Department / Division:</b>	<b>FIRE PREVENTION BSO</b>		
<b>Position:</b>	<b>CAPTAIN</b>		
<b>Date of Review:</b>	<b>07/07/2025</b>		
<b>Submittal No.:</b>	<b>2</b>		

**A. APPLICATION / GENERAL COMMENTS:**

1.	<p>A complete set of permitted plans must be submitted for review and approval prior to all construction.</p> <p>All permitted plans must document on plans that a certificate of occupancy shall not be issued until the AHJ determines that the building is in compliance with section 118 (TWO WAY RADIO ENHANCEMENT SYSTEM) with Broward County Local Amendments to the Florida Fire Prevention Code 7<sup>TH</sup> Ed., NFPA 1-Fire Code, Florida Edition 2018, NFPA 101-Life Safety Code, Florida Edition 2018.</p> <p>ADDRESSED</p>
2.	<p>PROVIDE A HYDRANT FLOW TEST TO DETERMINE THE AVAILABLE WATER SUPPLY TO THIS PROJECT AND SHALL BE PREPARED BY A PROFESSIONAL ENGINEER BASED ON THE FLORIDA FIRE PREVENTION CODE 8<sup>TH</sup> EDITION (NFPA 1 18.4.5.3 BUILDINGS OTHER THAN 1 AND 2 STORY RESIDENTIAL BUILDINGS) A FIRE HYDRANT FLOW TEST SHALL BE CONDUCTED BEFORE ANY BUILDING PERMIT CAN BE ISSUED AND/OR ANY VERTICAL RISE OF THIS PROJECT CAN BEGIN</p> <p>ADDRESSED</p>

**B. SITE PLAN:**

1.	<p>DEMONSTRATE TURNING RADIUS OF 38FT INSIDE AND 50FT OUTSIDE RADIUS WITH A CLEAR SWEEP OF 12FT OF DRIVE AISLE FOR ALL FIRE DEPT ACCESS ROADS THROUGHOUT</p> <p>ADDRESSED</p>
2.	<p>A SINGLE EXTERIOR DOOR PROVIDING ACCESS TO THE INTERIOR OF ANY BUILDING MUST BE LOCATED WITHIN 50 FT OF A FIRE DEPT ACCESS ROAD</p> <p>ADDRESSED</p>

## Development Plan Application Comments

3.	"NO PARKING" SIGNAGE, PAINTED CURBS AND/OR FIRE LANE STRIPING REQUIRED FOR FIRE LANES
	ADDRESSED



**DEVELOPMENT REVIEW COMMITTEE**

<b>Project Name:</b>	<b>Fifth Third Bank</b>	<b>Application No.:</b>	<b>83-B1-11 Rev. 8</b>
<b>Reviewer Name:</b>	<b>Alfonso Orellana</b>		
<b>Department / Division:</b>	<b>Environmental Services</b>		
<b>Position:</b>	<b>Plans Reviewer</b>		
<b>Date of Review:</b>	<b>07-24-2025</b>		
<b>Submittal No.:</b>	<b>2</b>		

<b>A.</b>	<b>SITE PLAN:</b>
1.	Per Sec. 98-13. (j)(ii) - Requirements for development review— Development plan submittal, provide “Preliminary flood routing and water quality calculations supporting the surface water management elements,”
1.a	Comment addressed.
2.	Provide a standalone, signed and sealed current Boundary (or Special Purpose) and Topographic Survey extending to the limits of proposed improvements.
2.a	Comment addressed.
3.	Provide a copy of a current FDOT pre-application meeting.
3.a	Applicant assures the City an FDOT Pre-App is not required. Comment addressed.

## Conceptual Engineering Plan Comments



### DEVELOPMENT REVIEW COMMITTEE

<b>Project Name:</b>	<b>Fifth Third Bank</b>	<b>Application No.:</b>	<b>83-B1-11 Rev. 8</b>
<b>Reviewer Name:</b>	<b>Alfonso Orellana</b>		
<b>Department / Division:</b>	<b>Environmental Services</b>		
<b>Position:</b>	<b>Plans Reviewer</b>		
<b>Date of Review:</b>	<b>07-24-2025</b>		
<b>Submittal No.:</b>	<b>2</b>		

<b>A.</b>	<b>CONCEPTUAL ENGINEERING PLAN:</b>	
1.		Please, provide a calculation for water use based on Broward County GUIDELINES FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER AND WASTEWATER SERVICE.
1.a		Comment addressed.
2.		Per Sec. 98-13. (j)(ii) - Requirements for development review— Development plan submittal, provide “Preliminary flood routing and water quality calculations supporting the surface water management elements,”
2.a		Comment addressed.
3.		Provide a standalone, signed and sealed current Boundary (or Special Purpose) and Topographic Survey extending to the limits of proposed improvements.
3.a		Comment addressed
4.		Provide a copy of a current FDOT pre-application meeting.
4.a		Applicant assures the City an FDOT Pre-App is not required. Comment addressed.
5.		Provide a 10 Ft. Utility Easement to the proposed water meter from the existing Easement.
5.a		The requested Easement appears to be shown of Sheet C-300 but not labeled. All water service annotations are displaced in relation to the graphic representation. Please fix and provide a Sketch and Legal for the 10 Ft. Utility Easement before applying for the required Engineering Permit. Comment addressed.

## ENVIRONMENTAL SERVICES DEPARTMENT

6.	Provide a Sewer Lateral profile from the building to existing Sewer Main.
6.a	Comment addressed.

**B. ADVISORY COMMENTS:**

1.	Please note that comments provided are based on the Conceptual Engineering Plans provided and as such is a preliminary review and additional comments may be provided and/or required upon review of any revised plans submitted at time of Engineering Permit application.
2.	Provide copies of all permits from agencies having jurisdiction at the time of Engineering Permit Application, including, but not limited to Broward County EPGMD
3.	All work in public right-of-way shall be done in strict compliance with the rules and regulations of the City of Deerfield Beach Code of Ordinances, Manual on Uniform Traffic Control Devices, the Occupational Safety and Health Administration, the Americans with Disabilities Act, AASTHTO "Green Book", Broward County and FDOT.
4.	<p><b>DAMAGE BY CONTRACTOR</b></p> <p>A. The Contractor shall protect from damage by construction operations, all public streets sidewalks, landscape, irrigation, signage, striping, pavements, including all base courses and surface courses, that abuts the work area.</p> <p>B. Any sidewalk, base course or surface course beyond those limits, damaged as a result of the Contractor's operation, shall be restored in accordance with prevailing applicable professional standards, to the satisfaction of the City of Deerfield Beach, and to the satisfaction of any other governing authority having jurisdiction over the work area.</p> <p>C. Any damage to adjacent lanes of pavement will require the Contractor to resurface the entire lane width for a length, as approved by the City of Deerfield Beach. When the damage amounts to 25 percent or more in any one block (approximately 600 feet), the Contractor shall resurface the entire width of the lanes in which the damage occurred for the entire block.</p> <p>D. The Contractor is hereby notified that wherever the line for repaving for trenches extends one foot into the edge of the existing paving, he shall repave to this edge only. Full lane paving will not be required. Damage to the pavement beyond this line by the Contractor will require that he repave the full width.</p>

## ENVIRONMENTAL SERVICES DEPARTMENT

5.	<p>Construction documents submitted at the time of Engineering Permit Application must include, not limited to, the following pages as applicable to the type of construction:</p> <ol style="list-style-type: none"><li>a. Demolition Plan</li><li>b. Stormwater Pollution Prevention Plan/ E&amp;SC Plan</li><li>c. Paving, Grading and Drainage Plans and Details</li><li>d. Water and Sewer Plans and City of Deerfield Beach Standard Details</li><li>e. Pavement Markings and Signing plan in accordance with the MUTCD latest edition, Broward County Traffic Engineering Division or FDOT Standards as applicable</li></ol> <p>Pursuant to Sec 98-17(4)c of the City's Land Development Code, the applicant must submit design calculations, sealed and signed by a professional engineer registered in the State of Florida, showing that the stormwater management system can handle runoff from a 3-day, 25-year storm event with a maximum discharge to the Hillsboro Canal, if allowed, of 35 CSM.</p> <p>If water and sewer demands will increase as a result of the proposed improvements, please, provide calculations for utility capacity evaluation.</p> <p>Please be advised that this project is required to receive sign-off by the Engineering Department for water connection fees per City of Deerfield Beach Code of Ordinances Sec. 70-132 and for sewer connection fees per City of Deerfield Beach Code of Ordinances Sec. 70-75 prior to issuance of a Certificate of Occupancy.</p> <p>Sidewalk Ramp Detail to match FDOT Index 522-002 and driveway connection shall be in accordance with FDOT Index 515</p> <p>Handicap parking stall shall be in accordance with F.A.C. 553.5041</p> <p>Provide copy of permits from all applicable agencies having jurisdiction (AHJ) including an approved Broward County Surface Water Management License and SFWMD Environmental Resources Permit.</p>
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## Development Plan Application Comments



# DEVELOPMENT REVIEW COMMITTEE

<b>Project Name:</b>	<b>3701 W Hillsboro Bank Major Site Plan</b>	<b>Application No:</b>	<b>83-B1-11 Rev-8</b>
<b>Reviewer Name:</b>	Cesar E. Osegueda		
<b>Department / Division:</b>	Sustainable Management		
<b>Position:</b>	Code Compliance Spec.		
<b>Date of Review:</b>	03/06/2025		
<b>Submittal No:</b>	Submittal 1		

<b>A.</b>	<b>RECYCLING &amp; SOLID WASTE DIVISION:</b>	
1.	<p>The above Site Plan Application, located at 3701 W Hillsboro Blvd. Deerfield Beach, FL 33442 has been reviewed by the Sustainable Management Dept. (Recycling and Solid Waste Management) and was found to be <b>Acceptable</b> as it relates to collection services and location of Recycling/Solid Waste Receptacle.</p> <p>The site will be served by a Front Loader Truck type. The dumpsters will need to have lids, wheels and a capacity of no more than 4 cubic yards.</p>	



# DEVELOPMENT PLAN APPLICATION

PROVIDE IN FULL THE FOLLOWING INFORMATION (TYPE OR PRINT LEGIBLY)  
 One application may be submitted for multiple requests. Unless otherwise directed by staff, the following items with associated attachments are required for staff to determine the application is complete for processing by the City.

## PROJECT INFORMATION:

### TYPE OF REQUEST (check all that apply)

<input checked="" type="checkbox"/> New Site Plan / Site Plan Modification (See Attachment A) <input checked="" type="checkbox"/> Community Appearance Board (See Attachment B) <input type="checkbox"/> Variance (See Attachment C) <input type="checkbox"/> Technical Deviation (See Attachment D) <input type="checkbox"/> Rezoning (See Attachment E)	<input type="checkbox"/> Plat or Plat Note Amendment (See Attachment F) <input type="checkbox"/> Conditional Use (See Attachment G) <input type="checkbox"/> Vacation & Abandonment (See Attachment H) <input type="checkbox"/> ROW Variance (See Attachment I) <input type="checkbox"/> Sign Variance (See Attachment J)
---	---

Project Name: 3701 W HILLSBORO BANK (AKA Fifth Third Bank)

Property Owner: MEDALLION DEERFIELD 3701 LLC

Applicant (if different from Owner): \_\_\_\_\_

Agent (if different from Owner/Applicant): Paragon Development LLC

Address of Property: 3701 W HILLSBORO BLVD DEERFIELD BEACH FL 33442

Legal Description of Property (lot, block, tract, subdivision): GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS,BEG AT NW COR,SLY 298.06,ELY FOR 297.33,NLY 84,ELY 203.60,NLY 209.50,WLY 495.98 TO POB &

Description of Project: New bank building within existing development. Work includes signage, lighting, new utility connections, sidewalk, pavement, and drainage upgrade.

New Development (Y/N):	<u>No</u>	Modification to Existing Development (Y/N):	<u>Yes</u>
Zoning District:	<u>B-1</u>	Future Land Use Category:	<u>COMMERCIAL</u>
Existing Use:	<u>COMMERCIAL</u>	Proposed Use:	<u>GROCERY STORE</u>
Lot Area (acres):	<u>5.578</u>	Number of Dwelling Units (proposed):	<u>N/A</u>
Sq. Ft. of Structure (existing):	<u>58,843</u>	Sq. Ft. of Structure (proposed):	<u>1,900</u>

Agent Signature:

Name Printed: Leonardo Figueroa

Address: 12565 Orange Drive, Unit 402, Davie, FL 33330

Telephone: (786) 487-1294

Email: Leo@paragondevco.com

Owner Signature:

Name Printed: Erwin Sredni

Address: 16690 Collins Ave Ste 1004, Sunny Isles Beach, FL 33160

Telephone: 305-945-0405

Email: sa@priveecapital.com

**INTERNAL USE ONLY:**

SUBMITTAL DATE: \_\_\_\_\_

REQUEST SUBMITTED	APPLICATION NO:	FEES		REQUEST SUBMITTED	APPLICATION NO:	FEES	
		Required	Provided			Required	Provided
Site Plan - Residential		\$2000 + \$10/unit + \$100 (Fire)		Site Plan Modification - Major		\$2000 + \$100 (Fire)	
Site Plan - Nonresidential		\$2000 + \$20 / 1000 GFA + \$100 (Fire)		Site Plan Modification - Minor		\$500 + \$100 (Fire)	
Community Appearance Board (CAB)		\$50		Plat or Note Amendment		\$1000 + \$50/acre (Nonres) \$1000 + \$40/acre + \$10/unit (Res) \$550 (Note)	
Variance (Site Plan)		\$1000		Conditional Use		\$1000 / \$300	
Variance (ZASM)		\$300					
Sign Variance		\$550					
Technical Deviation		\$500		ROW Vacation / Abandonment		\$1,350	
Rezoning		\$2000		Easement Vacation / Abandonment		\$1,350	

Total Fees Paid: \_\_\_\_\_

**Cost Recovery**

Account No.	Project No.	Project Name	Service	Deposit Amount	Date Received	Check No.	Receipt No.
-------------	-------------	--------------	---------	----------------	---------------	-----------	-------------



## DISCLOSURE AFFIDAVIT

The City of Deerfield Beach requires all applicants, and persons and/or entities doing business with the City, to disclose any potential for or conflict of interest as stated below. Per Ordinance No. 2009/006 of the City of Deerfield Beach, the adopted Ethics Code contains the following:

**Section 5. Disclosure and Behavior Requirements of Applicants and Persons/Entity seeking a City contract or currently doing business with the City.**

Any applicant for a land use change or development permit requiring approval of the City Commission, or any person/entity seeking a City contract through a request for proposal, request for qualification, or sealed bid process (all referred to as applicant):

- A. Shall not induce, attempt to offer, solicit or knowing assist any person in violating the Ethics Code.
- B. All applicants shall include the following with their application, proposal, or bid:

(Attach additional sheets as needed for each item.)

- 1. A listing of all campaign contributions to sitting City Commissioners in the past four (4) years, as well as contributions of all officers, directors, shareholders of a corporation if the application is a corporation, or partners if the applicant is a partnership, or members, whether general or limited, if it is a limited liability company.

No campaign contributions have been made to sitting City  
 \_\_\_\_\_  
 Commissioners in the past four years.  
 \_\_\_\_\_

- 2. Disclose all those items that a regulated officer is required to disclose concerning any conflict, whether actionable or non-actionable.

Not Applicable  
 \_\_\_\_\_  
 \_\_\_\_\_

- 3. Disclose any action that is a violation of the Ethics Code by a regulated office (in reference to the application) with the applicant and/or the applicant's agents, and what was done to rectify the violation (for example: if a gift was given, when demand was made for return of the gift.)

Not Applicable

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4. An applicant shall fully, completely, accurately, and not misleadingly report and file all disclosures required by this Ethics Code, and shall fully, completely, accurately, and not misleadingly make all disclosures referenced in this Ethics Code and not omit material information, and/or file misleading and/or deceitful information in the disclosure.
5. An applicant has a continuing duty to report any violation of this Ethics Code related to their application.
6. Failure to disclose in compliance with this Section shall be a violation of this Ethics Code and shall be grounds for the City Commission to void or rescind any approval or contract.

C. No applicant shall, directly or indirectly, induce, encourage, or aid anyone to violate any provision of this Code.

I, Leonardo Figueroa, have received a copy of the ordinance and understand the ordinance requirements.

Applicant

  
Signature

09/18/2024

Date

SWORN TO AND SUBSCRIBED Before me by means of  physical presence or  online notarization, this 18 day of Septemeber, 2024 by

Leonardo Figueroa (Affiant), who is personally known to me or has produced \_\_\_\_\_ identification.

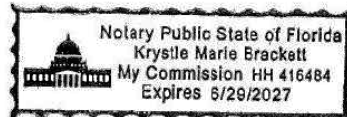
My commission expires: 6/29/2027

Commission No.: HH416484



(Signature of Notary Public - State of Florida)

(Print, Type, or Stamp Commissioned Name of Notary Public)



For Office Use Only

Date: \_\_\_\_\_

Application \_\_\_\_\_

Nos.: \_\_\_\_\_



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**Section 5. Disclosure and Behavior Requirements of Applicants and Persons/Entity seeking a City contract or currently doing business with the City.**

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- B. All applicants shall include the following with their application, proposal, or bid:

(Attach additional sheets as needed for each item.)

- 1. A listing of all campaign contributions to sitting City Commissioners in the past four (4) years, as well as contributions of all officers, directors, shareholders of a corporation if the application is a corporation, or partners if the applicant is a partnership, or members, whether general or limited, if it is a limited liability company.

No campaign contributions have been made to sitting City  
 \_\_\_\_\_  
 Commissioners in the past four years.  
 \_\_\_\_\_

- 2. Disclose all those items that a regulated officer is required to disclose concerning any conflict, whether actionable or non-actionable.

Not Applicable  
 \_\_\_\_\_  
 \_\_\_\_\_

- 3. Disclose any action that is a violation of the Ethics Code by a regulated office (in reference to the application) with the applicant and/or the applicant's agents, and what was done to rectify the violation (for example: if a gift was given, when demand was made for return of the gift.)

Not Applicable

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. An applicant shall fully, completely, accurately, and not misleadingly report and file all disclosures required by this Ethics Code, and shall fully, completely, accurately, and not misleadingly make all disclosures referenced in this Ethics Code and not omit material information, and/or file misleading and/or deceitful information in the disclosure.
- 5. An applicant has a continuing duty to report any violation of this Ethics Code related to their application.
- 6. Failure to disclose in compliance with this Section shall be a violation of this Ethics Code and shall be grounds for the City Commission to void or rescind any approval or contract.

C. No applicant shall, directly or indirectly, induce, encourage, or aid anyone to violate any provision of this Code.

I, Erwin Sredni, have received a copy of the ordinance and understand the ordinance requirements.

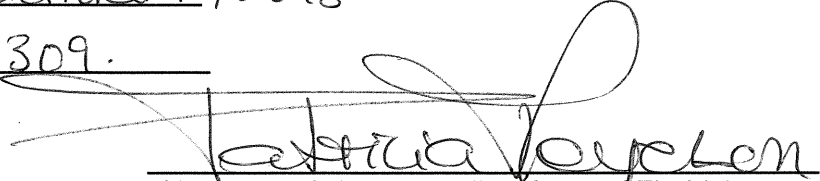
Applicant  
  
Signature

09/18/2024  
Date

SWORN TO AND SUBSCRIBED Before me by means of  physical presence or  online notarization, this 18 day of September, 2024 by Erwin Sredni (Affiant), who is personally known to me or has produced \_\_\_\_\_ identification.

My commission expires: September 15, 2028

Commission No.: HH 528309

  
(Signature of Notary Public - State of Florida)



PATRICIA MEYERSON  
(Print, Type, or Stamp Commissioned Name of Notary Public)

**ERWIN SREDNI  
MANAGER  
MEDALLION DEERFIELD 3701 LLC**

16690 Collins Avenue Suite 1004 Sunny Isles Beach, FL 33160 | 305-587-0911 | [SA@PriveeCapital.com](mailto:SA@PriveeCapital.com)

**May 9, 2024**

City of Deerfield Beach  
Planning & Development Services  
Deerfield Beach, FL 33441

**To whom it may concern:**

I, Erwin Sredni, give full authorization to Jeff Colasanti, Cody Miller and Leonardo Figueroa of Paragon Development LLC, to submit, receive, sign, and/or transact any communication with representatives of the City of Deerfield Beach in connection with any, and all, types of request(s) associated with the City of Deerfield Beach's DEVELOPMENT PLAN APPLICATION processes.

Sincerely,

**Erwin Sredni  
Manager  
Medallion Deerfield 3701 LLC**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
MEDALLION DEERFIELD 3701 LLC

### Filing Information

<b>Document Number</b>	L21000463801
<b>FEI/EIN Number</b>	87-3356998
<b>Date Filed</b>	10/26/2021
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CORPORATE MERGER
<b>Event Date Filed</b>	01/18/2022
<b>Event Effective Date</b>	NONE

### Principal Address

16690 COLLINS AVE STE 1004  
SUNNY ISLES BEACH, FL 33160

### Mailing Address

16690 COLLINS AVE STE 1004  
SUNNY ISLES BEACH, FL 33160

### Registered Agent Name & Address

KLEIN, TED  
8030 PETERS RD STE D-104  
PLANTATION, FL 33324

### Authorized Person(s) Detail

#### **Name & Address**

Title Manager

Azout, Jacobo  
16690 COLLINS AVE STE 1004  
SUNNY ISLES BEACH, FL 33160

Title Manager

Sredni, Erwin  
16690 COLLINS AVE STE 1004

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2022	01/17/2022
2023	04/10/2023

**Document Images**

<a href="#">04/10/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/18/2022 -- Merger</a>	<a href="#">View image in PDF format</a>
<a href="#">01/17/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">10/26/2021 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>



<b>Site Address</b>	3701 W HILLSBORO BOULEVARD, DEERFIELD BEACH FL 33442	<b>ID #</b>	4842 04 03 0010
<b>Property Owner</b>	MEDALLION DEERFIELD 3701 LLC	<b>Millage</b>	1112
<b>Mailing Address</b>	16690 COLLINS AVE STE 1004 SUNNY ISLES BEACH FL 33160	<b>Use</b>	11-07
<b>Abbr Legal Description</b>	GRAND UNION DEERFIELD BEACH 117-12 B PARCEL "A" LESS PT DESC AS,BEG AT NW COR,SLY 298.06,ELY FOR 297.33,NLY 84,ELY 203.60,NLY 209.50,WLY 495.98 TO POB & LESS PT K/A PUMPING STATION SITE & LESS PART DESC IN OR 15251/989		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2024 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2024*	\$2,429,820	\$11,883,060	\$14,312,880	\$13,854,210	
2023	\$2,429,820	\$10,164,920	\$12,594,740	\$12,594,740	\$287,594.36
2022	\$2,429,820	\$9,789,850	\$12,219,670	\$12,219,670	\$274,212.15

2024* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$14,312,880	\$14,312,880	\$14,312,880	\$14,312,880
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$13,854,210	\$14,312,880	\$13,854,210	\$13,854,210
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$13,854,210	\$14,312,880	\$13,854,210	\$13,854,210

Sales History			
Date	Type	Price	Book/Page or CIN
6/9/2022	DRR-T	\$100	118209565
12/21/2021	SWD-D	\$9,000,000	117823766
10/19/2010	SWD-Q	\$9,560,000	47478 / 72
6/1/2006	WD	\$5,970,000	42435 / 1052
2/1/1988	QCD	\$100	15251 / 989

Land Calculations		
Price	Factor	Type
\$10.00	242,982	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		60219
<b>Eff./Act. Year Built: 1995/1984</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
11			2					
C			2					

January 30, 2025

City of Deerfield Beach  
Planning & Zoning Dept.  
150 NE 2<sup>nd</sup> Avenue  
Deerfield Beach, FL 33441

Attn: Planning & Zoning Manager

Re: Project Description for:  
3701 W Hillsboro – Bank (Deer Creek Plaza)

### PROJECT DESCRIPTION

The project will include the construction of a new stand-alone 2,036 sf drive-in bank building in the south portion of the existing retail center site. The new bank will be fronting Hillsboro Boulevard in an area currently used as overflow parking and detention. The project will include the construction of parking, landscaping, service utilities, and lighting. The project will require the relocation of the existing detention basin and rerouting of existing drainage piping.

As part of the project, the owner will replace the existing site lighting with fixtures that meet the current code requirements at the property lines. The owner will also add an additional drainage detention area to provide for surplus water quantity storage above SFWMD and Broward County requirements per city comment during the pre-application meeting. Cross access easement with the property to the west will be provided at a location as determined by the City during the DRC process.

This instrument was prepared by  
and when recorded should be returned to:

First American Title Company  
Attn: Dimetri Malveaux  
601 Travis, Suite 1875  
Houston, Texas 77002  
Phone: 713-402-4372

Tax Parcel No. 484204-03-0010

**\*\*\*\*\* This Document is being recorded to correct the legal description attached to the deed recorded in the official records of Broward County as Instrument # 117823766 \*\*\*\*\***

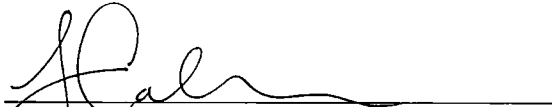
**SPECIAL WARRANTY DEED**

REALTY INCOME PROPERTIES 4, LLC, a Delaware limited liability company (the "Grantor") whose mailing address is 11995 El Camino Real San Diego, CA 92130, for and in consideration of Ten Dollars (\$10.00) paid to Grantor and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, by these presents does hereby grant, sell, and convey unto MEDALLION DEERFIELD 3701 LLC, a Florida limited liability company (the "Grantee"), whose mailing address is 16690 Collins Avenue, Suite 1004, Sunny Isles Beach, Florida 33160, the land located in Broward County, Florida, more particularly described on Exhibit "A," attached hereto and made a part hereof for all purposes, together with all improvements and fixtures situated thereon (collectively, the "Property"); SUBJECT TO all real estate taxes not yet delinquent; covenants, conditions, restrictions, easements, rights of way and other matters of record; applicable laws, ordinances, statutes, orders, requirements and regulations to which the Property is subject, including, without limitation, all building, zoning and environmental laws and requirements; provided, however, nothing contained in this reference should be construed to re-impose same.

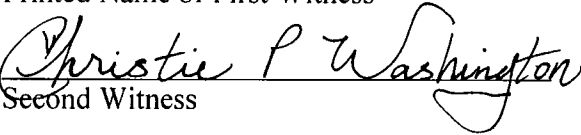
TO HAVE AND TO HOLD the Property, together with all and singular the rights, hereditaments, and appurtenances thereto in anywise belonging, unto Grantee, its successors and assigns, and Grantor hereby agrees to WARRANT AND FOREVER DEFEND all and singular the Property unto Grantee, its successors and assigns, against every person whomsoever lawfully claiming, or claim the same, or any part thereof, by, through, or under Grantor but not otherwise.

EXECUTED this 9<sup>th</sup> Day of June, 2022.

Witnesses:

  
First Witness

Juliana Calderon  
Printed Name of First Witness

  
Second Witness

Christie P. Washington  
Printed Name of Second Witness

GRANTOR:

Realty Income Properties 4, LLC,  
a Delaware limited liability company

By: Realty Income Corporation,  
a Maryland corporation,  
its sole and managing member

By: 

Name: Karolina Ericsson  
Title: SVP, Associate General Counsel

Approved As To Form  
Legal Department  
1/2/21  
W. Ericsson

ACKNOWLEDGMENT

*A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.*

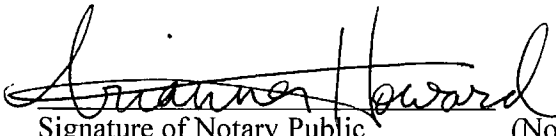
STATE OF CALIFORNIA

COUNTY OF SAN DIEGO

On June 9, 2022 before me, Arianna Howard, Notary Public, personally appeared Karolina Ericsson, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

  
Signature of Notary Public



(Notary Seal)

EXHIBIT A – LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 4, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 4; THENCE S 89°17'11" W ALONG THE NORTH LINE OF SAID SECTION 4 A DISTANCE OF 71.98 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE S 89°17'11" W ALONG SAID NORTH LINE A DISTANCE OF 563.07 FEET TO THE EAST LINE OF THE C-3 CANAL OF WATER MANAGEMENT DISTRICT NO. 2; THENCE S 01°14'55" E ALONG SAID EAST LINE AS RECORDED IN OFFICIAL RECORD BOOK 3193, PAGE 189, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 817.06 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST HILLSBORO BLVD. (S.R. #810); THENCE N 89°05'18" E ALONG SAID NORTH RIGHT-OF-WAY LINE AS RECORDED IN MAP BOOK 4, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 368.05 FEET; THENCE N 01°15'01" W ALONG THE WEST LINE OF PARCEL "A" OF MOBILE PLAT 10-438 AS RECORDED IN PLAT BOOK 111, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 210.00 FEET; THENCE N 89°05'18" E ALONG THE NORTH LINE AND EASTERLY PROJECTION THEREOF, OF SAID MOBILE PLAT A DISTANCE OF 200 FEET TO THE WEST RIGHT-OF-WAY LINE OF POWERLINE ROAD; THENCE N 01°15'01" W ALONG SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 362.43 FEET TO A POINT OF CURVE; THENCE NORTHERLY ALONG SAID WEST RIGHT-OF-WAY LINE ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT (CONCAVE WESTERLY), HAVING A RADIUS OF 5927.00 FEET, A CENTRAL ANGLE OF 02°20'49", AN ARC DISTANCE OF 242.78 FEET TO THE POINT OF BEGINNING.  
SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE WARRANTY DEED RECORDED APRIL 10, 1984 IN OFFICIAL RECORD BOOK 11614, PAGE 245, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE WARRANTY DEED RECORDED JULY 2, 1984 IN OFFICIAL RECORD BOOK 11823, PAGE 760, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 8, 1988 IN OFFICIAL RECORD BOOK 15251, PAGE 989, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

January 30, 2025

City of Deerfield Beach  
Planning & Zoning Dept.  
150 NE 2<sup>nd</sup> Avenue  
Deerfield Beach, FL 33441

Attn: Planning & Zoning Manager

Re: Trip Generation Statement for:  
3701 W Hillsboro – Bank (Deer Creek Plaza)

To Whom It May Concern:

We have reviewed the proposed 2,036 sf bank development against the latest Institute of Transportation Engineer’s (ITE) report and found that the code description under ITE Code 912 corresponds to the proposed use. The trip generating code uses the building square footage as the unit of measure. The table below summarizes the daily trip rate based on information contained within the Institute of Transportation Engineer’s (ITE) report, titled *Trip Generation*, 11<sup>th</sup> Edition.

LAND USE	PROP. SIZE	UNIT	UNIT RATE	DAILY TRIPS	AM PEAK	PM PEAK
Drive-In Bank (912)	2,036 sf	1,000 sf	100.35	204	20	43

The table identifies a total of 204 total daily trips which is less than the 500 trips per day identified in Code Section 98-17, therefore a site-specific traffic study is not required.

Sincerely,



By: \_\_\_\_\_  
Erik Wilczek, PE (FL 58216)

Erik J. Wilczek, Professional Engineer, State of Florida, License No. 58216  
This item has been digitally signed and sealed by ERIK WILCZEK, P.E. on the date adjacent to the seal.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



November 22, 2024

Erik Wilczek, P.E.  
Keen Engineering, Inc.  
7280 West Palmetto Park Road, Suite 105  
Boca Raton, Florida, 33433

*Via Email Only*

Dear Mr. Wilczek:

Re: Platting requirements for a parcel legally described as a portion of Parcel A, "Grand Union Deerfield Beach," according to the Plat thereof, as recorded in Plat Book 117, Page 12, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Hillsboro Boulevard, between Northwest 41 Way and Powerline Road, in the City of Deerfield Beach.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP). Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on August 16, 1983. Land platted after June 4, 1953, may be divided by metes and bounds and developed in accordance with local regulations and the effective land use plan, unless local regulations are more restrictive and would require platting. The City of Deerfield Beach's platting requirements should be investigated.

According to Article 4.5(A)(2) of the *Administrative Rules Document: BrowardNext*, compliance with the Broward County Trafficways Plan is required for all proposed development, but parcels that have been platted subsequent to June 4, 1953, are excepted and are subject to BCLUP Policy 2.17.6, which states:

In order to protect the transportation corridors identified on the Broward County Trafficways Plan, local governments shall require that development is set back from identified rights-of-way when issuing development orders while providing an administrative relief process to ensure such set back does not deny all beneficial use of the property proposed for development.

**Erik Wilczek, P.E.**  
**November 22, 2024**  
**Page Two**

It is recommended that you contact Broward County's Urban Planning Division at 954-357-6666, to inquire about whether additional County review, such as a plat note modification, may be required.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Alicia Joseph at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:ACJ

cc/email: Rodney Brimlow, Interim City Manager  
City of Deerfield Beach

Eric M. Power, AICP, Director, Planning & Development Services  
City of Deerfield Beach



## Erik Wilczek

---

**From:** Munoz, Diego <DIMUNOZ@broward.org>  
**Sent:** Monday, August 4, 2025 2:10 PM  
**To:** Erik Wilczek  
**Cc:** Luchong, Jennifer  
**Subject:** RE: Fifth Third Bank - Deerfield Beach

Good afternoon, Erik,

Per our conversation, a note amendment will not be necessary as the plat never had a note on the face of the plat nor have there ever been any amendments made to add a note.



Diego Munoz, Senior Planner

Resilient Environment Department

**URBAN PLANNING DIVISION**

1 North University Drive, BOX 102 | Plantation, Florida 33324

954.357.6617

[Broward.org/Planning](http://Broward.org/Planning) | [ePermits](#)



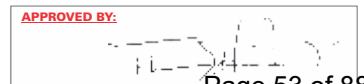


Site #:  
Site Name:  
Address: 3701 W Hillsboro Blvd  
City State: Deerfield Beach, FL 33442  
Drawing Number: S0#193802

Created: 04/25/2024  
Revised: 06/28/2024  
10/04/2024  
11/04/2024  
02/10/2025  
04/15/2025  
04/16/2025  
06/05/2025  
08/14/2025  
10/06/2025



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# Code Summary

Sign Type	Allowed by Code	Proposed	Currently Installed	Calculation Method & Comments
<b>Wall Signs</b>				<i>The total sign area shall be computed by allowing one square foot for each linear foot of building or tenancy frontage. No sign shall be required to be smaller than 32 square feet nor exceed 100 square feet.</i>
Height (ft):	NA	3		
Square Footage:	Front/Rear - 49.5 Side - 52	Front/Rear - 49.5 Side - 52		
Quantity:	NA	3		
<b>Ground Signs</b>				<i>Setback:      Maximum Height:      Max. Size of Sign structure:      Max. Size of Sign Face within the Structure:</i>
Height (ft):	8	7		<i>20 feet or more.      10 ft.      80 sq. ft.      40 sq. ft.</i>
Square Footage:	48	36.55		<i>10 ft. to 19 ft.      8 ft.      48 sq. ft.      24 sq. ft.</i>
Quantity:	1	1		<i>2 ft. to 9 ft.      5 ft.      25 sq. ft.      15 sq. ft.</i>
				<i>0 feet to 1 foot: No Signs permitted.</i>
Is sign a Tenant Panel Only?: (Y or N)		Y		
<b>Directional/Informational</b>				
Height (ft):	3	0		
Square Footage:	2	0		
Quantity:	NA	0		
Do non-branded signs require a permit? (Y or N)		Y		
<b>ATMs</b>				
Height (ft):	NA	NA		
Square Footage:	NA	NA		
Quantity:	NA	NA		
<b>Temporary Signs/Banners</b>				<i>Banners as defined herein are prohibited.</i>
Square Footage:	Not allowed	0		
Quantity:	Not allowed	0		
<b>Construction Signs</b>				<i>Construction signs in all zoning districts:(1)Active building permit: One freestanding sign allowed per construction site with an active building permit. Sign area shall not to exceed sixteen square feet in size and six feet in height.</i>
Square Footage:	16	16		
Quantity:	1	1		
<b>Window Vinyl</b>				
Square Footage:	NA	NA		
Quantity:	NA	NA		
% of window:	NA	NA		
<b>Branding Rationale &amp; Additional Code Info</b>				
<i>(info about why sizes, placement, or colors were recommended if it is non standard. Variance info.)</i>				



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APPROVED BY:

CP

PM: TG

Drawn By: ASC

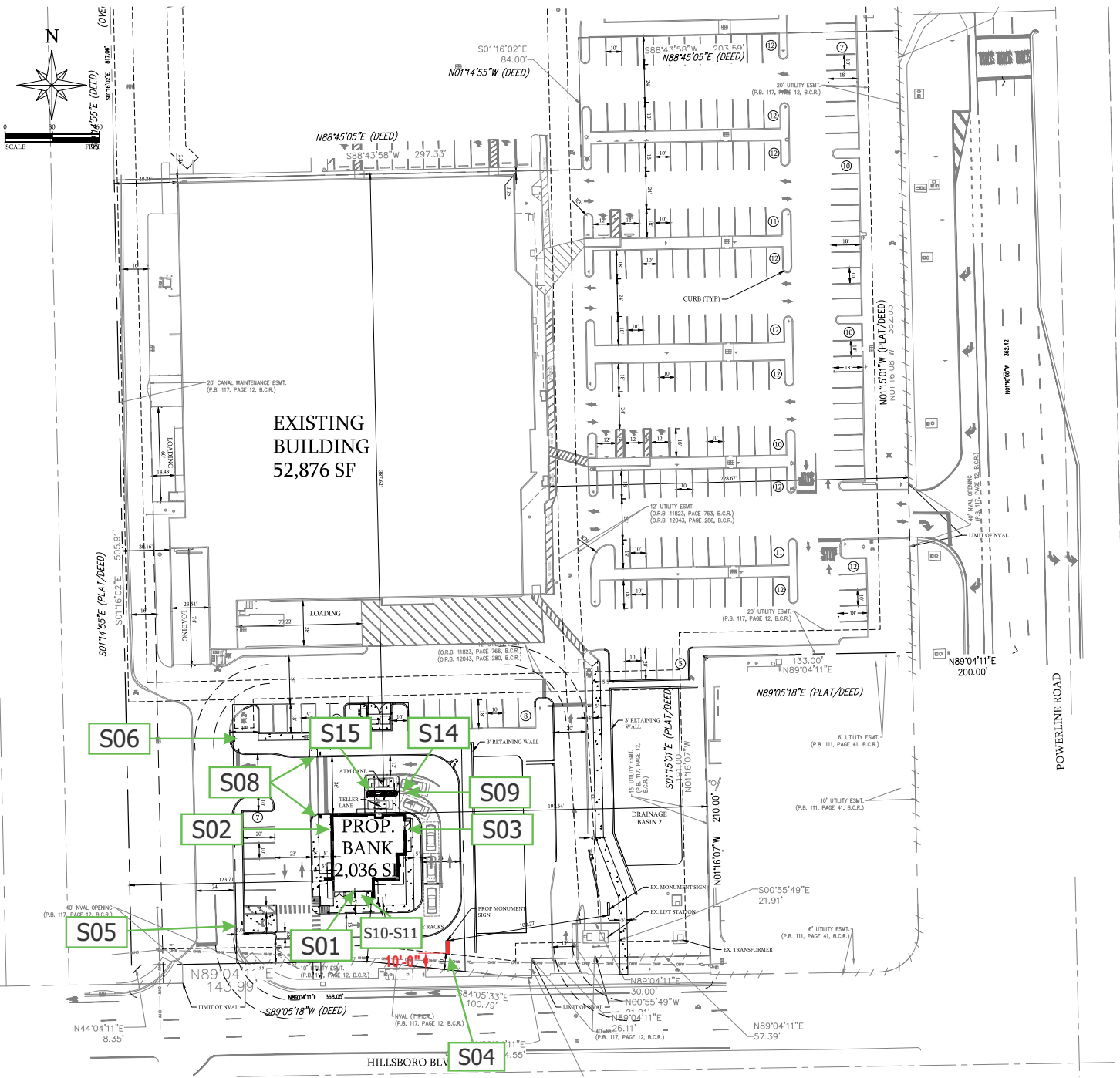
Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

This document, together with the survey and design presentation herein, is intended only for the specific purpose and dates for which it was prepared. Review of all appropriate references on this document without written authorization and signature by Atlas Engineering, Inc. shall be without liability to Atlas Engineering, Inc.



S#	Proposed
S01	Illuminated Letterset
S02	Illuminated Letterset
S03	Illuminated Letterset
S04	Monument
S05	Regulatory
S06	Regulatory
S08	Regulatory (DF) QTY2
S09	Hours Plaque
S10	Glass Vinyl
S11	Glass Vinyl
S13	Clearance Panels
S14	Wrong Way Panels



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*[Signature]*

SP

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

193802  
Page 55 of 88

# Illuminated Letterset | Canopy Application | White Faces

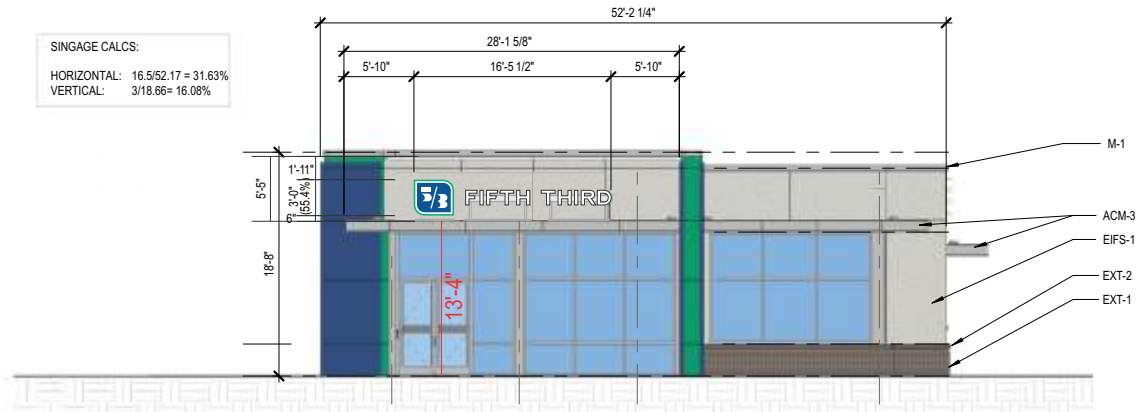
5/3-G3-CL-CNPY-W

## Action

## Colors & Materials

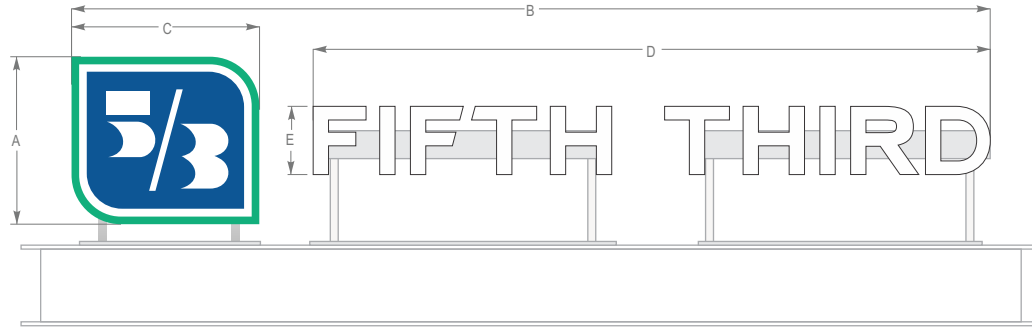
- Logo Return Painted MP 448 Satin Finish
- Logo Return Painted MP White Satin Finish
- Letter Return Painted to match 5395C (Satin Finish)
- Letter Trim Cap to be Gemini #2767 Midnight Blue
- Logo & Letters Acrylic to be #7328 White Acrylic
- Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
- Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface
- Raceway & Support Tubes Painted to match existing wall Satin Finish

SINGAGE CALCS:  
 HORIZONTAL: 16.5/52.17 = 31.63%  
 VERTICAL: 3/18.66 = 16.08%



## SOUTH EXTERIOR ELEVATIONS

1/8" = 1'-0"



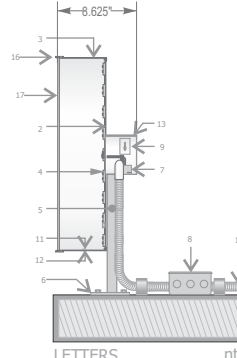
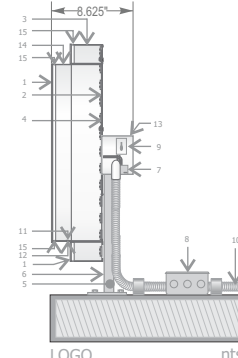
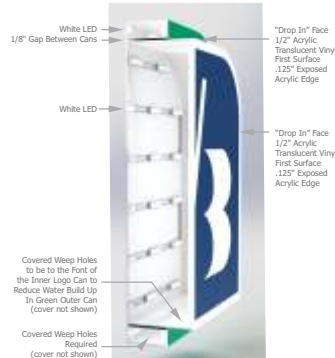
FIFTH THIRD BANK | CHANNEL LETTERSET | CANOPY | WHITE FACES | MIDNIGHT BLUE RETURNS

Sign Type	Sq. Ft. (4 Line)					A x B
	A	B	C	D	E	
5/3 G2-CL-CNPY-W-36	36" — 3'-0"	16'-5 1/2"	3'-4 3/8"	12'-1 9/16"	1'-2 11/16"	49.38



exposed white edge

Trimcap  
 raceway painted to match building fascia color



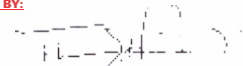
- 1 .5" thick acrylic face
  - 2 backs to be .080" logo | .063" letters pre-finished white aluminum
  - 3 returns to be .063" logo | .040" letters aluminum
  - 4 illumination to be provided by LED.
  - 5 1" square aluminum support tubes
  - 6 mounting varies
  - 7 power supply
  - 8 junction box
  - 9 listed disconnect switch
  - 10 primary power source
  - 11 weep hole cover to be white pre-finished aluminum
  - 12 weep hole
  - 13 aluminum raceway
  - 14 returns to be .063" aluminum
  - 15 screw through return into acrylic shoulder
  - 16 1" Trimcap
  - 17 White Acrylic Face
- ELECTRICAL NOTES**
1. All materials and fasteners meet 3004.4
  2. All electrical components are UL listed, labeled and approved.
  3. Sign grounded according to NEC 600.7
  4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4
  5. All branch circuits per NEC 600-5(B).1 or (B).2.
  6. All Signs controlled by photocell or time clock per FBC 13-415, (ABC) 1.4.
  7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1



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APPROVED BY:



S01

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

193802  
 Page 56 of 88

# Illuminated Letterset | Remote Wired | White Faces | Linear Layout

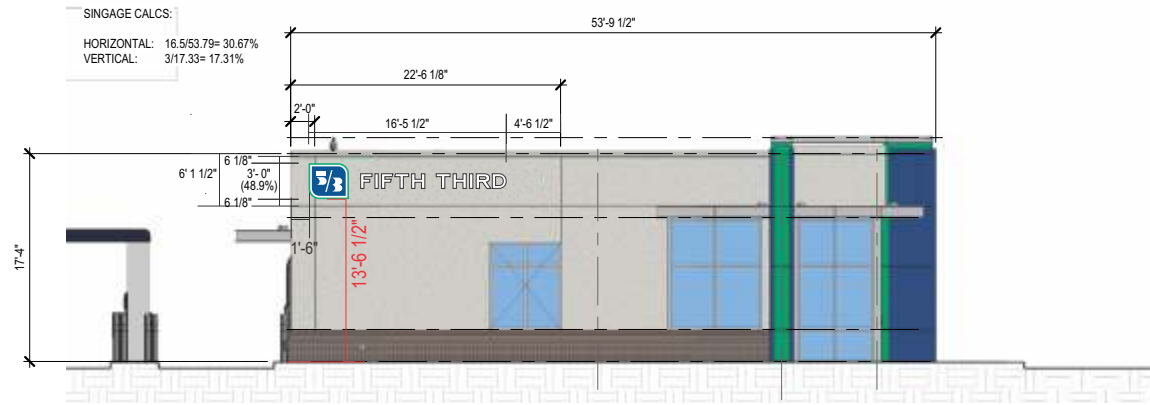
5/3-G3-CL-RMT-W-L

## Action

- Install New Illuminated Letterset.

## Colors & Materials

-  Logo Return Painted MP 448 Satin Finish
-  Logo Return Painted MP White Satin Finish
-  Letter Return Painted to match PMS 5395C (Satin Finish)
-  Letter Trim Cap to be Gemini #2767 Midnight Blue
-  Logo & Letters Acrylic to be #7328 White Acrylic
-  Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
-  Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface

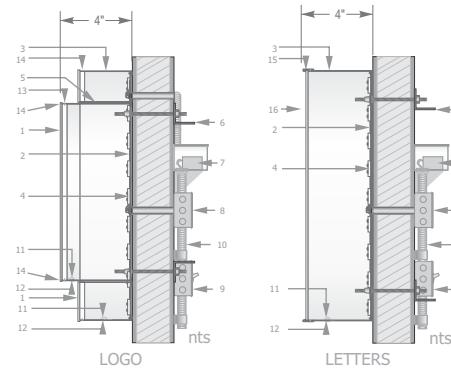
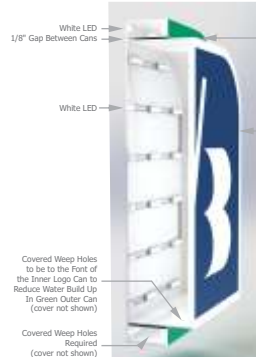


WEST EXTERIOR ELEVATIONS  
1/8" = 1'-0"



FIFTH THIRD BANK | CHANNEL LETTERSET | REMOTE WIRED | WHITE FACES | MIDNIGHT BLUE RETURNS | LINEAR LAYOUT

Sign Type	A	B	C	D	E	Sq. Ft. (4 Line)
						A x B
5/3 G3-CL-RMT-W-L-36	36" — 3'-0"	16'-5 1/2"	3'-4 3/8"	12'-1 9/16"	1'-2 11/16"	49.38



- 1/8" acrylic | .125" exposed edge
- 2 backs to be .080" logo | .063" letters pre-finished white aluminum
- 3 returns to be .063" logo | .040" letters aluminum
- 4 illumination to be provided by LED.
- 5 .125" gap between returns of two elements
- 6 mounting varies upon location and wall material
- 7 power supply
- 8 junction box
- 9 listed disconnect switch
- 10 primary power source
- 11 weep hole cover to be white pre-finished aluminum
- 12 weep hole
- 13 returns to be .063" aluminum
- 14 screw through return into acrylic shoulder
- 15 1" Trimcap
- 16 White Acrylic Face

### ELECTRICAL NOTES

1. All materials and fasteners meet 3004.4
2. All electrical components are UL listed, labeled and approved.
3. Sign grounded according to NEC 600.7
4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5. All branch circuits per NEC 600.5(B), (1) or (B) 2.
6. All signs controlled by photocell or time clock per FBC 13-415, (ABC) 1.4.
7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1



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S02

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Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

193802  
Page 57 of 88

# Illuminated Letterset | Remote Wired | White Faces | Linear Layout

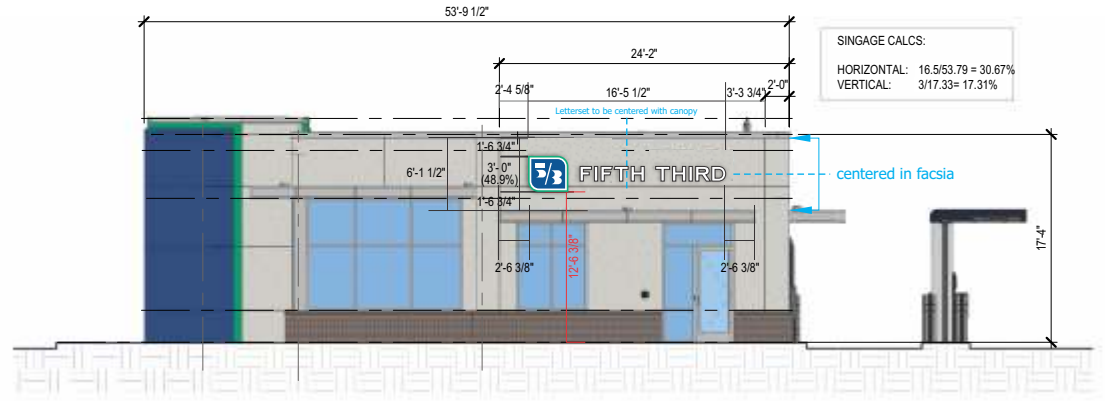
5/3-G3-CL-RMT-W-L

## Action

- Install New Illuminated Letterset.

## Colors & Materials

-  Logo Return Painted MP 448 Satin Finish
-  Logo Return Painted MP White Satin Finish
-  Letter Return Painted to match PMS 5395C (Satin Finish)
-  Letter Trim Cap to be Gemini #2767 Midnight Blue
-  Logo & Letters Acrylic to be #7328 White Acrylic
-  Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
-  Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface



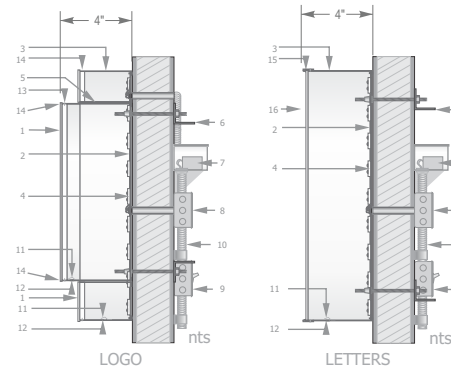
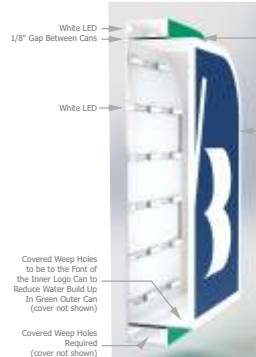
EAST EXTERIOR ELEVATIONS

Scale: 1/16" = 1'-0"



FIFTH THIRD BANK | CHANNEL LETTERSET | REMOTE WIRED | WHITE FACES | MIDNIGHT BLUE RETURNS | LINEAR LAYOUT

Sign Type	A	B	C	D	E	Sq. Ft. (4 Line)
						A x B
5/3 G3-CL-RMT-W-L-36	36" — 3'-0"	16'-5 1/2"	3'-4 3/8"	12'-1 9/16"	1'-2 11/16"	49.38



- .5" acrylic | .125" exposed edge
- backs to be .080" logo | .063" letters pre-finished white aluminum
- returns to be .063" logo | .040" letters aluminum
- illumination to be provided by LED.
- .125" gap between returns of two elements
- mounting varies upon location and wall material
- power supply
- junction box
- listed disconnect switch
- primary power source
- weep hole cover to be white pre-finished aluminum
- weep hole
- returns to be .063" aluminum
- screw through return into acrylic shoulder
- 1" Trimcap
- White Acrylic Face

### ELECTRICAL NOTES

- All materials and fasteners meet 3004.4
- All electrical components are UL listed, labeled and approved.
- Sign grounded according to NEC 600.7
- Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
- All branch circuits per NEC 600.516.1 or (B).2.
- All signs controlled by photocell or time clock per FCC 13-415, (ABC).1.4.
- One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1



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S03

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

193802  
Page 58 of 88

# 5/3 G2-MON

## Construction Intent

### Cabinet:

- .125" routed aluminum face.
- Aluminum frame/fabricated construction.
- .080" aluminum skins.
- Side reveals to have flexible LED faux neon.
- Cabinet internally illuminated with white LED.

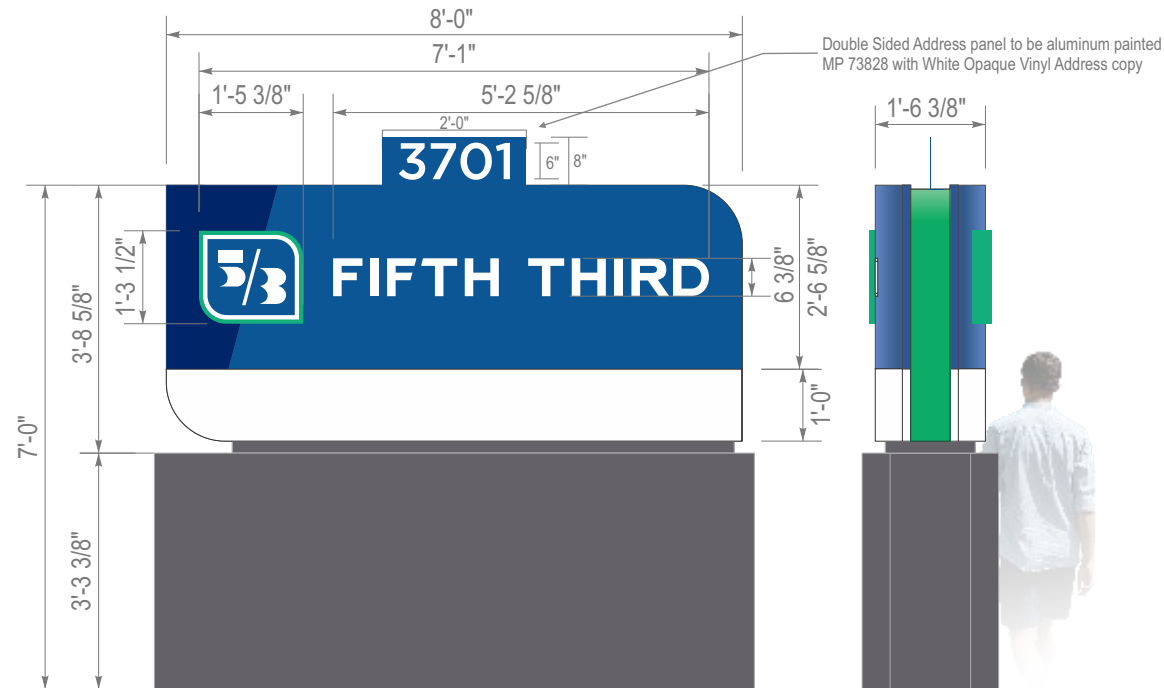
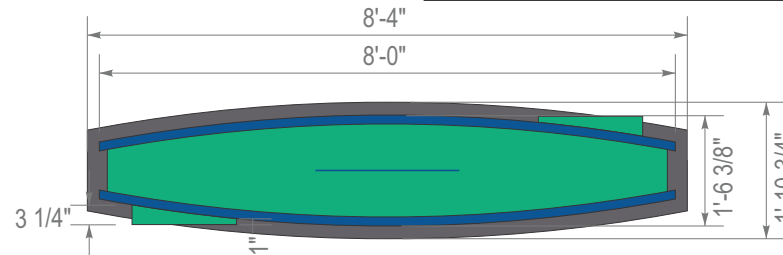
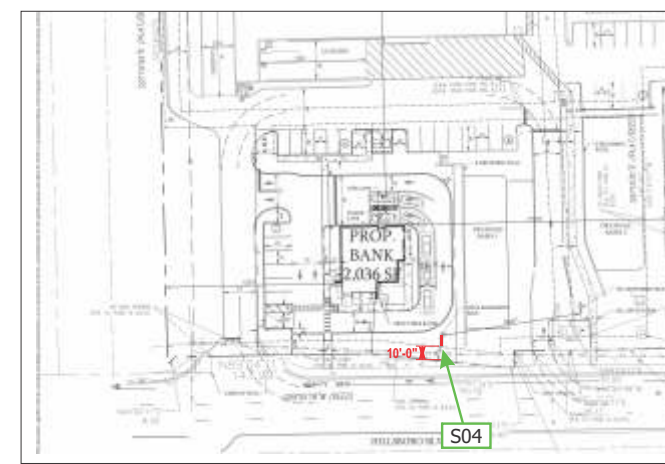
### Logo:

- .040" thick aluminum returns.
- Acrylic "drop in" face with .125" thick exposed edge.
- Acrylic face to have translucent vinyl graphics applied to first surface and diffuser film applied to second surface.
- Acrylic face to have mill finish edges.

### Letters:

- Acrylic push thru to accommodate the curvature of the aluminum face.
- Acrylic letters to have translucent vinyl applied to first surface and diffuser film applied second surface.
- Acrylic letters to have mill finish edges.

NOTE: Concrete footing will be required upon engineering per location.



Scale: 3/8" = 1'

5/3 G2-MON-8

Sq Ft - 36.55

## Colors & Materials

- Cabinet to be Painted MP 73828 Satin Finish
- Cabinet to be Painted PMS 281 Satin Finish
- Cabinet Edges to be Painted MP 448 Satin Finish
- Cabinet Bottom to be Painted MP White Satin Finish
- Logo Return to be Painted MP 448 Satin Finish
- Logo Face to be 1/2" Thick Clear Acrylic
- Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
- Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface
- Logo Vinyl to be 3M Translucent White First Surface
- Copy to be 3/4" thick Clear Acrylic
- Copy Vinyl to be 3M Translucent White First Surface
- Copy & Logo Vinyl to be 3M 70% Diffuser Second Surface
- Base & Reveal Painted "Platinum" MP to match PMS Cool Gray 11 Satin Finish
- Address Panel Painted MP 73828 Satin Finish
- Address Vinyl to be 3M Opaque White Film



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S04

PM: TG

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Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

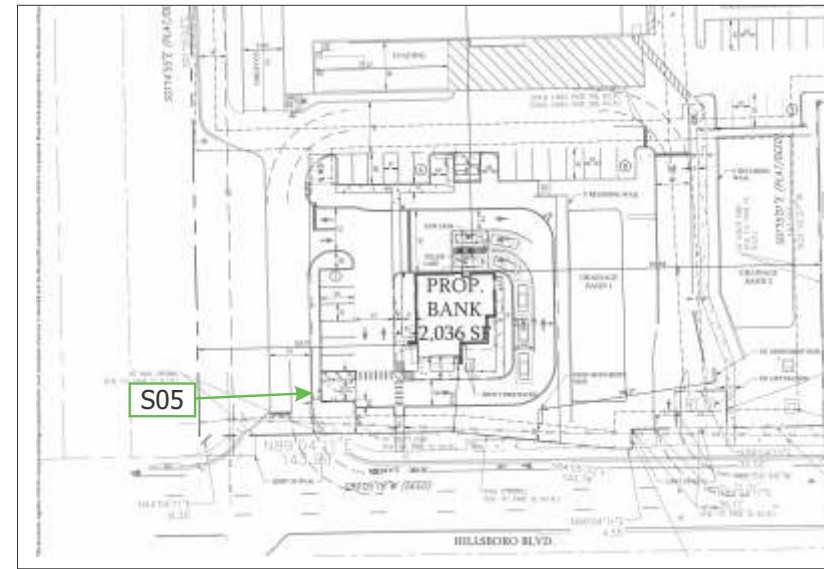
City State: Deerfield Beach, FL

Drawing Number:

193802  
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# Regulatory | Post & Panel

- Pre-Purchased ADA parking sign



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City State: Deerfield Beach, FL

Drawing Number:

193802  
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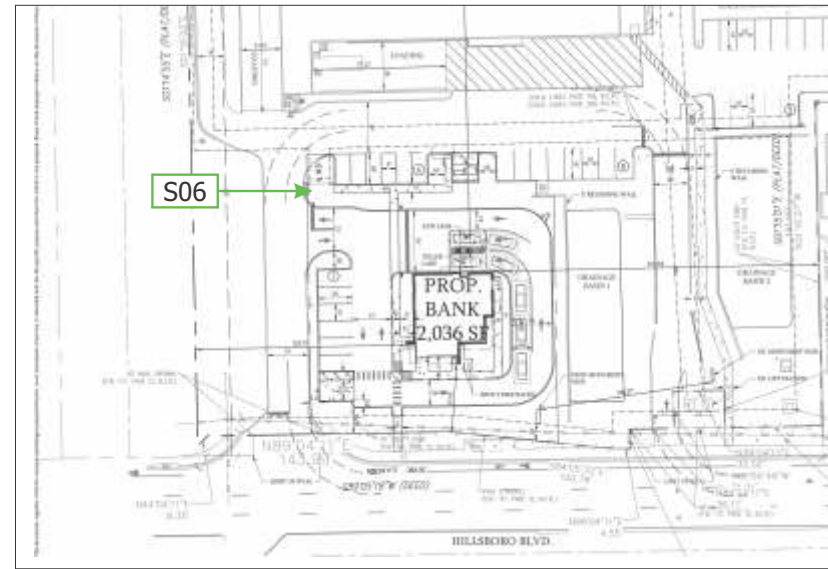
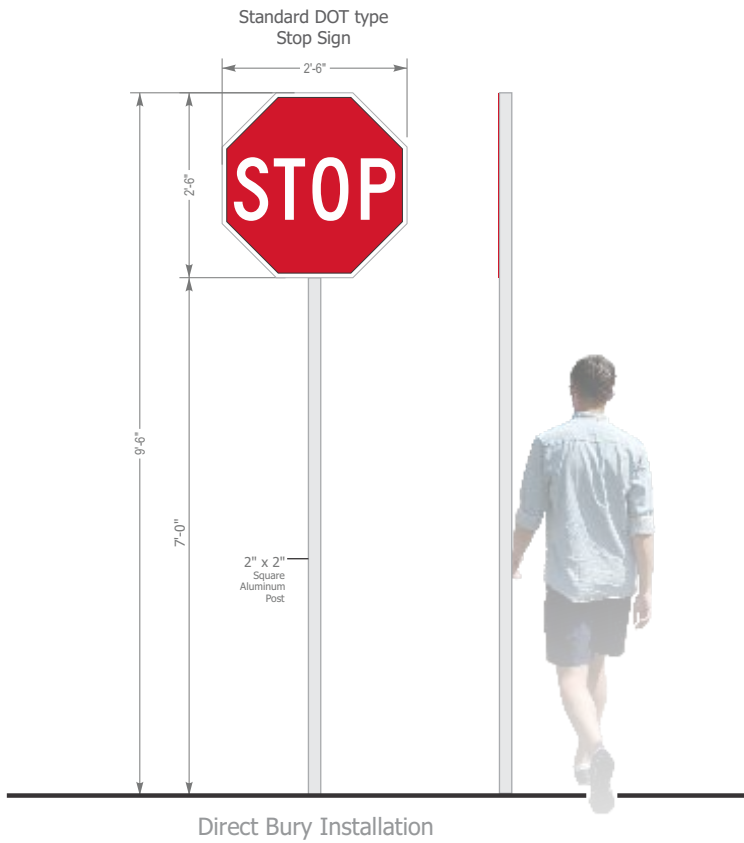
# DOT | Regulatory | Post & Panel

## Construction Intent

- .125" thick aluminum panel.
- 2" x 2" square aluminum tube.
- Panel mounted to post with angle.
- Regulatory to be direct buried with concrete footing.

## Colors:

-  3M 680-10 White Reflective Vinyl
-  3M 680-72 Red Reflective Vinyl
-  Panel to be Pre Finished White
-  Post to be painted MP 41342 Satin Finish (brushed aluminum)



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S06

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

193802  
Page 61 of 88


# DOT | Regulatory | Post & Panel | DF

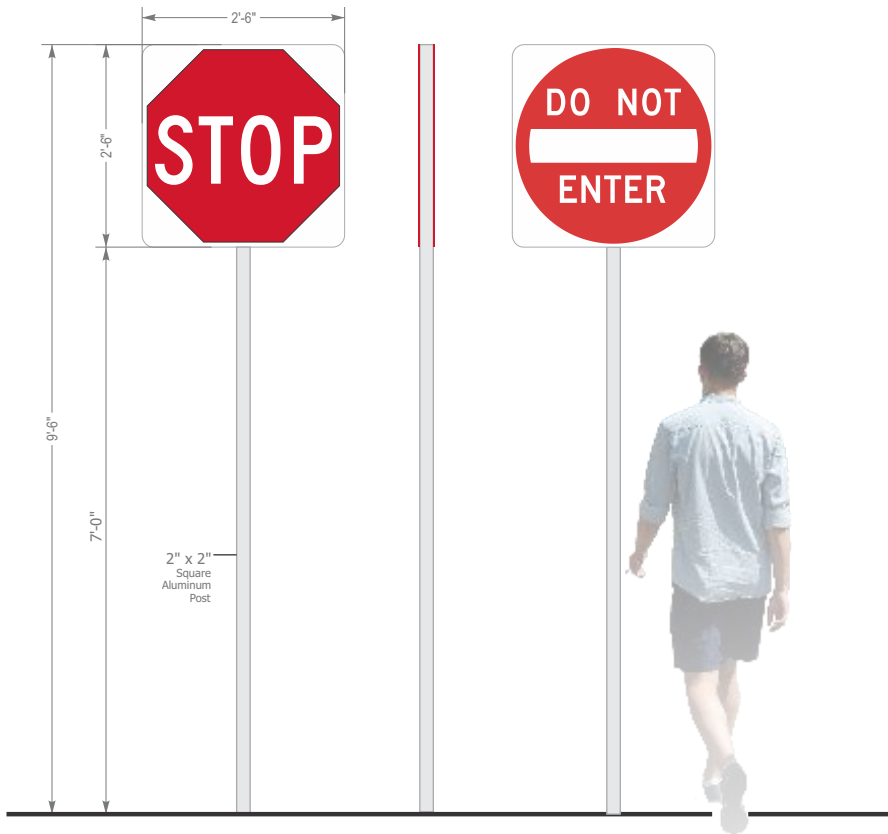
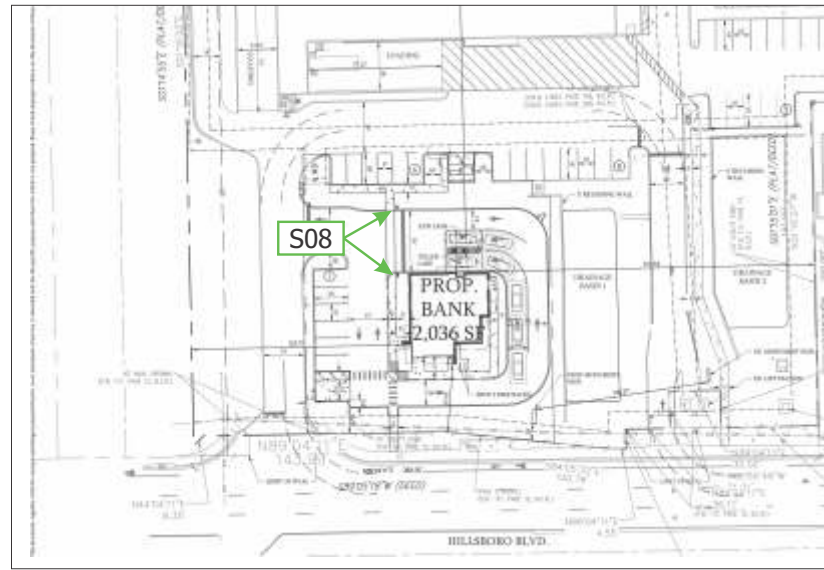
## Construction Intent

- .125" thick aluminum panel.
- 2" x 2" square aluminum tube.
- Panel mounted to post with angle.
- Regulatory to be direct buried with concrete footing.

## QTY (2)

### Colors:

-  3M 680-10 White Reflective Vinyl
-  3M 680-72 Red Reflective Vinyl
-  Panel to be Pre Finished White
-  Post to be painted MP 41342 Satin Finish (brushed aluminum)



Direct Burry Installation

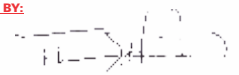


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APPROVED BY:



S08

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

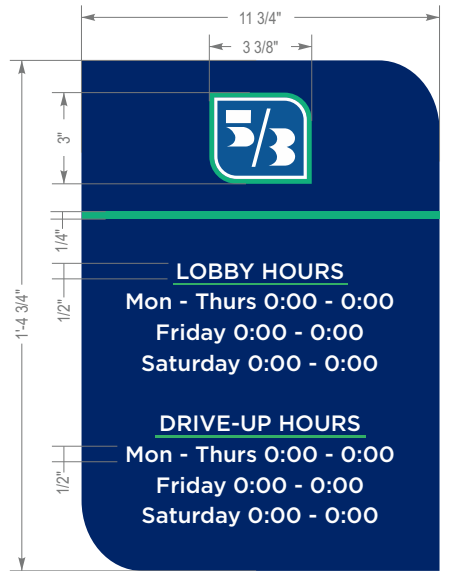
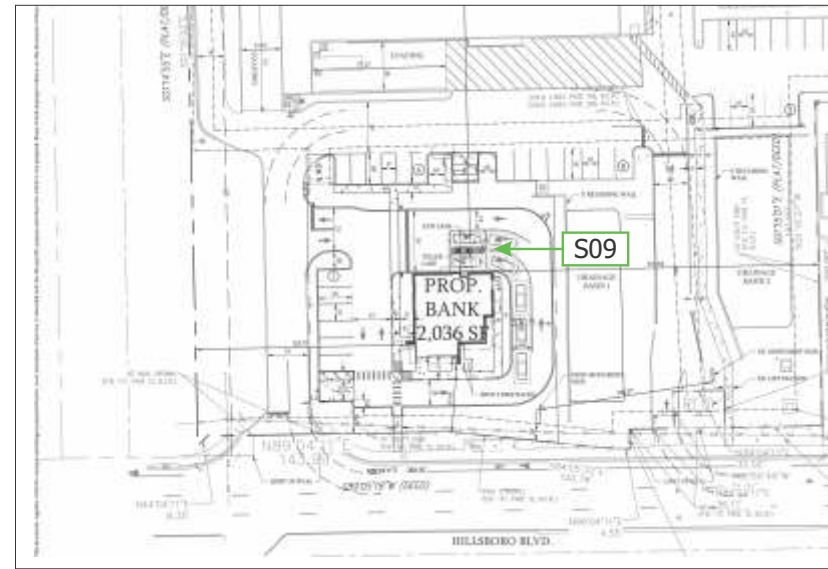
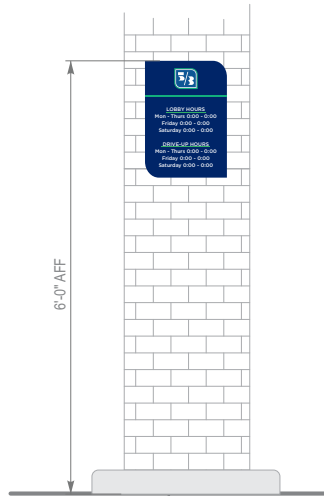
Drawing Number:

# Construction Intent

- .125" thick aluminum panel.
- Stud mounted


## Colors & Materials

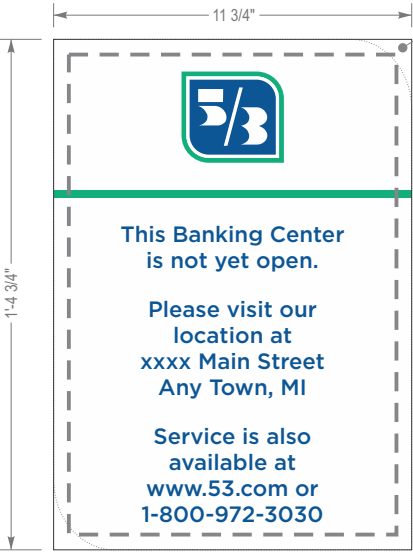
-  3M #3630-146 Light Kelly Green
-  3M Opaque White Film
-  Panel to be Painted PMS 281 Satin Finish



5/3-G2-HP

Vinyl Overlay  
5/3-HP-VO





11 3/4"

14 3/4"

.5" Exposed Adhesive

**Construction Intent**

- Digital Print on Opaque 3M Vinyl

**Installation Detail**

- Overlay to be surface applied over panel.
- Remove .5" of the backer to expose the adhesive on edges only.



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APPROVED BY:

S09

PM: TG  
Drawn By: ASC  
Date: 04.25.2024

Address: 3701 W Hillsboro Blvd  
City State: Deerfield Beach, FL  
Drawing Number:

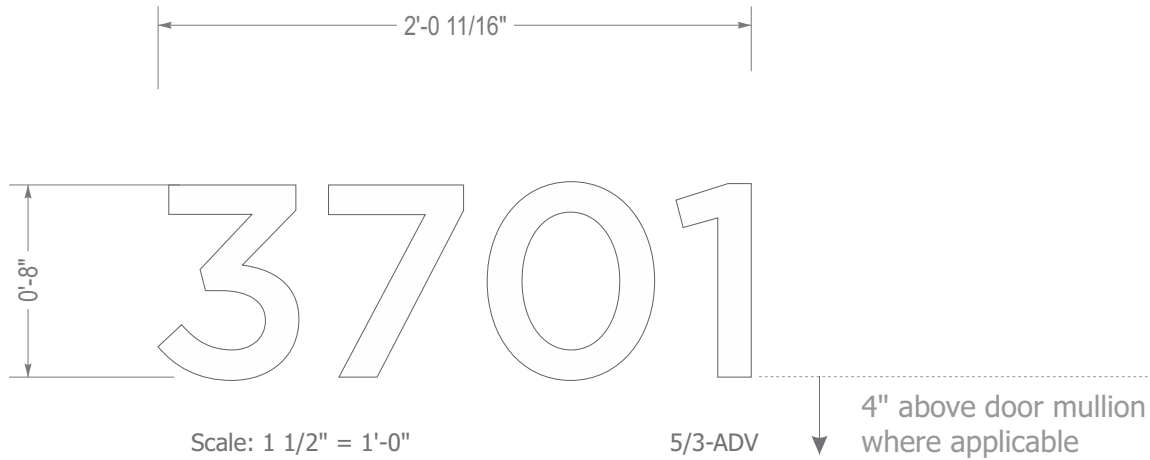
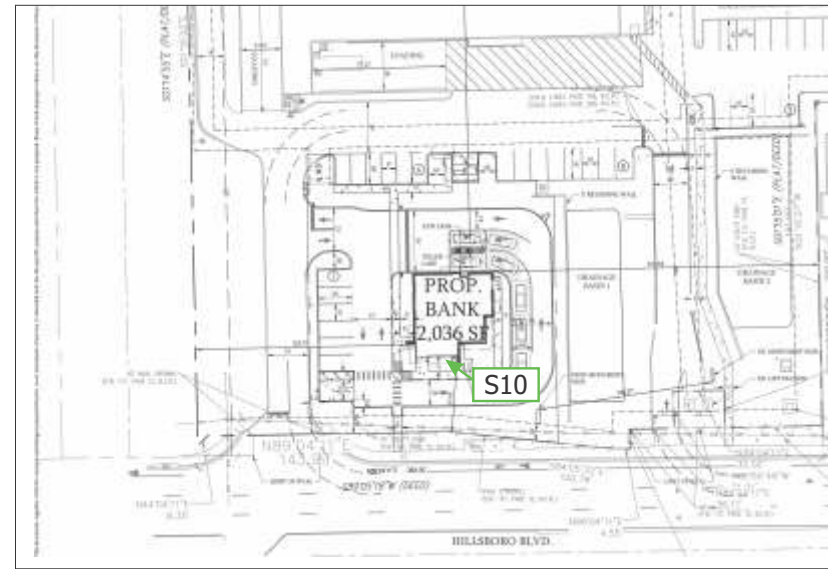
# Vinyl Address Number

## Construction Intent

- Cut 3M vinyl to be applied first surface on glass.
- Typical installation is above entrance door.

## Colors:

Copy Vinyl to be 3M Opaque White First Surface

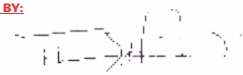


National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:

...
...
...
...
...

APPROVED BY:



**S10**

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL

Drawing Number:

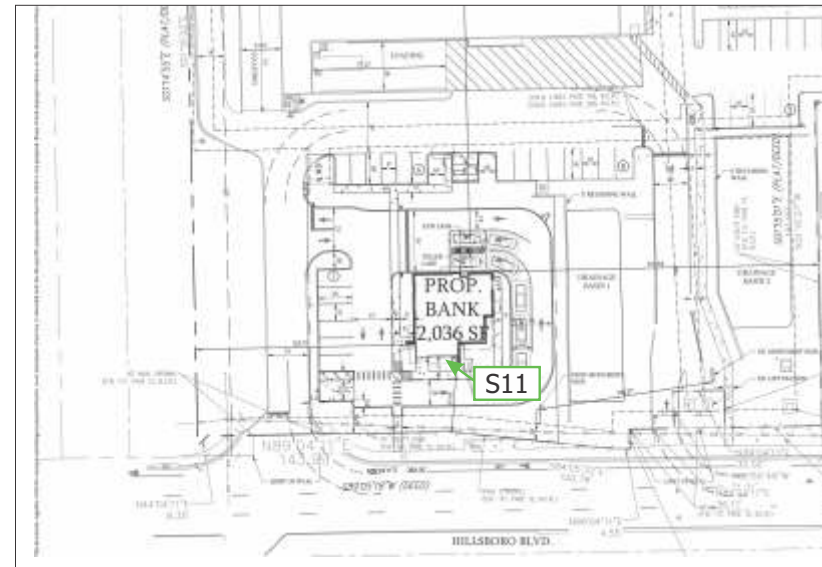
# Temporary Decal | Door/Glass

## Construction Intent

- Digital Print on Opaque 3M Vinyl

## Installation Detail

- Overlay to be first surface applied door glazing.
- Remove .5" of the backer to expose the adhesive on edges only.



5/3-HP-VO

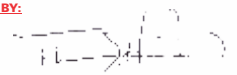


National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:

...
...
...
...

APPROVED BY:



S11

PM: TG	Address: 3701 W Hillsboro Blvd
Drawn By: ASC	City State: Deerfield Beach, FL
Date: 04.25.2024	Drawing Number: 193802



Side A  
53 G4-AF-JDF

Side B

One Panel - Double Sided



One side of the insert panel to display "New Bank Taking Shape" and the other side of the insert to display "Bank Now Open"  
(2) DF panels required for each A-Frame sign.

### Construction Intent

- Sign is Double Faced
- 3mm thick Coroplast
- Digitally printed graphic

<http://plasticade.com/sign-products-detail/signicade-deluxe>

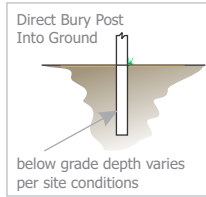
### Colors & Materials

-  Graphic to be Digital Print
-  White 3mm Coroplast

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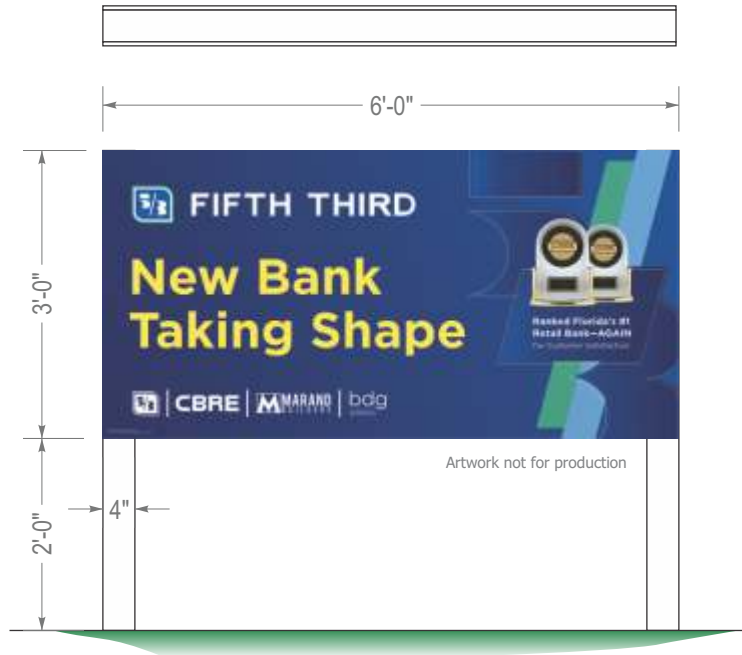
## Construction Intent

- Digital Print Graphic
- 3mm ACM Panel
- Treated Wood Frame
- Treated Wood Posts



## Application

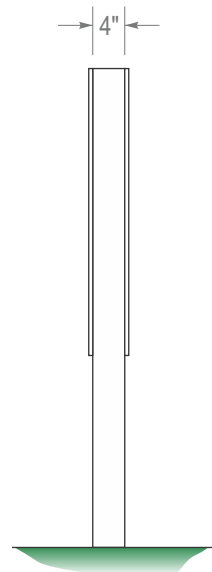
Post & Panel to be direct bury ground mounted.



Scale: 1/2" = 1'-0" | 18 Sq Ft

Scale: 1/2" = 1'-0" | 18 Sq Ft

GC = Marand  
AOR = BDG



53 G4-ACM-DB-NB-JDF-DF-3672



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:

...
...
...
...

APPROVED BY:

S13

PM: TG

Drawn By: ASC

Date: 04.25.2024

Address: 3701 W Hillsboro Blvd

City State: Deerfield Beach, FL



Drawing Number:

# Lane Clearance Signs | Panel

## Construction Intent

- QTY (2)
- .125" thick aluminum panel
- Stud mounted

## Colors & Materials

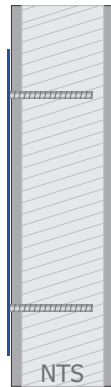
-  Panel to be Painted PMS 281 Satin Finish
-  3M White Reflective Vinyl



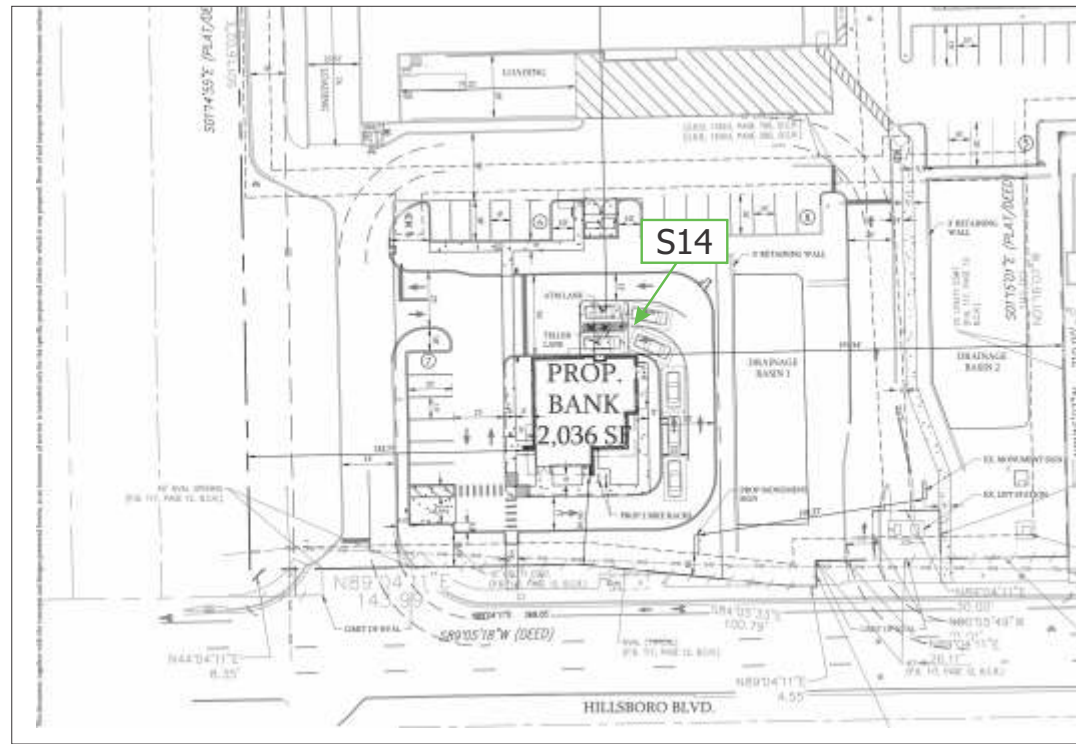
Scale: 1 1/2" = 1'-0"

5/3-LD-CLR

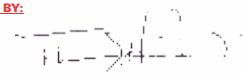
Clearance Height to be Confirmed Prior to Manufacturing  
A 6" cushion to be removed from actual clearance height



Stud Mounted



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# Lane Wrong Way | Panel

## Construction Intent

- QTY (2)
- .125" thick aluminum panel
- Stud mounted

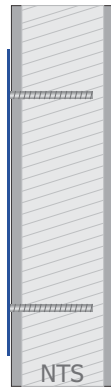
## Colors & Materials

-  Panel to be Painted PMS 281 Satin Finish
-  3M White Reflective Vinyl
-  3M 680-72 Red Reflective Vinyl

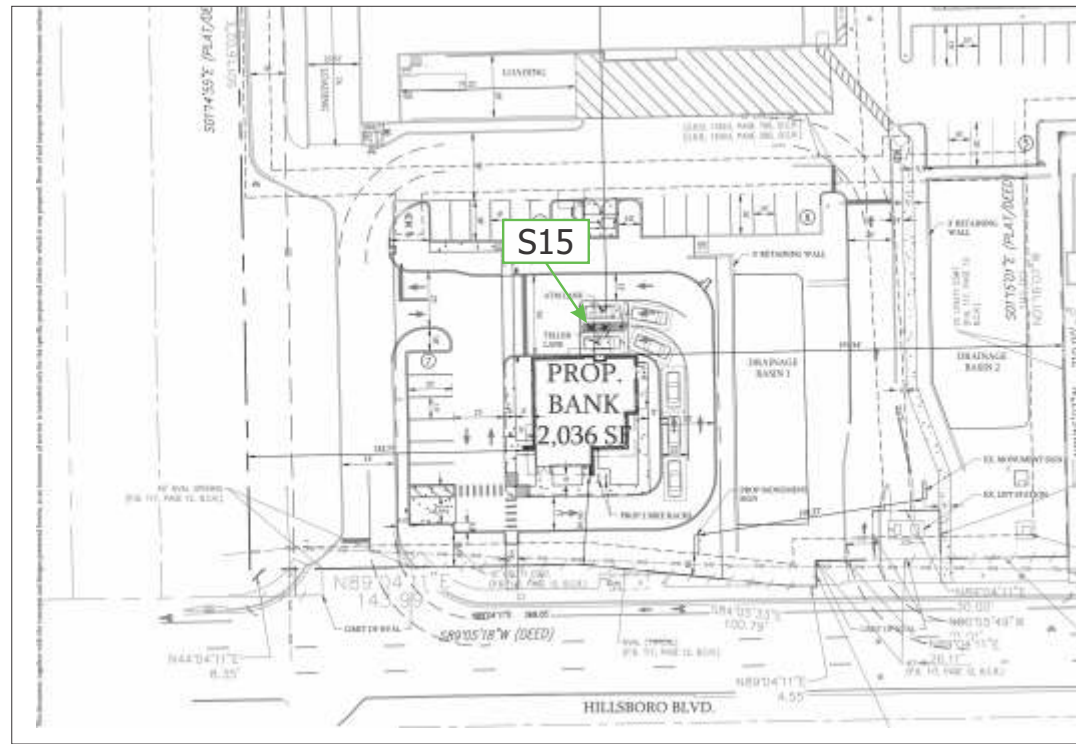


Scale: 1 1/2" = 1'-0"

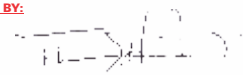
5/3-LD-WW



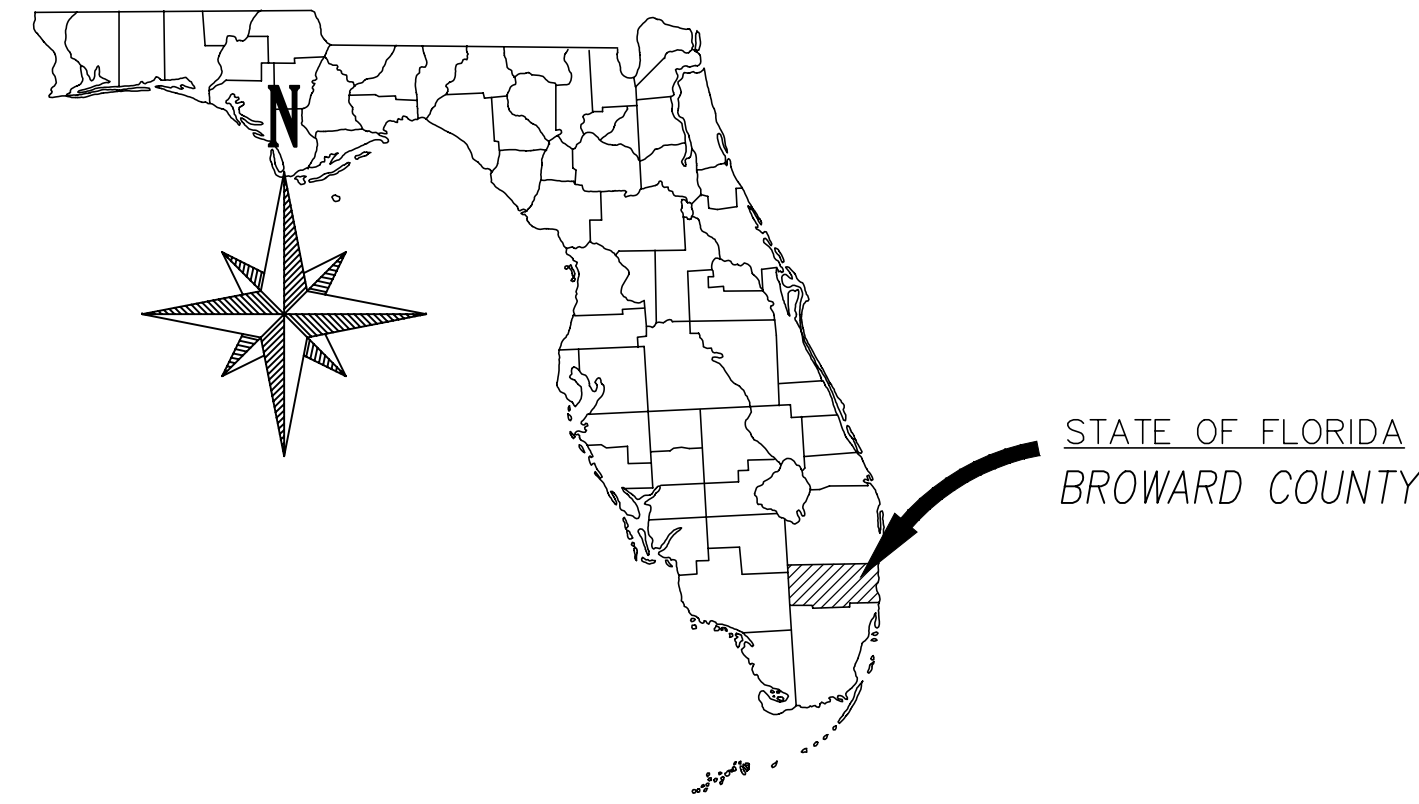
Stud Mounted



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...



# DEVELOPMENT REVIEW PLANS FOR FIFTH THIRD BANK @ DEER CREEK PLAZA



## 3701 W HILLSBORO BLVD. DEERFIELD BEACH, FL

FOLIO: 484204030010

### PROJECT TEAM:

**OWNER**  
MEDALLION DEERFIELD 3701, LLC  
16690 COLLINS AVE STE 1004  
SUNNY ISLES BEACH, FL 33160

**CIVIL ENGINEER**  
KEEN ENGINEERING, INC.  
7280 W. PALMETTO PARK RD., SUITE 105  
BOCA RATON, FLORIDA 33433  
PHONE: 561.325.6700  
CONTACT: ERIK WILCZEK, P.E.

**AGENT/DEVELOPER**  
PARAGON DEVELOPMENT, LLC  
12565 ORANGE AVE.  
DAVIE, FLORIDA 33330  
PHONE: 954.778.1898  
CONTACT: JEFF COLASANTI

**SURVEYOR**  
CAUFIELD & WHEELER, INC.  
7900 GLADES RD, SUITE 100  
BOCA RATON, FL 33434  
PHONE: 561.392.1991  
CONTACT: DAVID LINDLEY

**ARCHITECT**  
BDG ARCHITECTS  
550 S CALDWELL ST, STE 1800  
CHARLOTTE, NC 28202  
PHONE: 704.981.8951  
CONTACT: ASA SANTA CRUZ

**LANDSCAPE ARCHITECT**  
GSLA DESIGN, INC.  
17670 NW 78TH AVENUE, SUITE 214  
MIAMI, FL 33015  
PHONE: 305.392.1016  
CONTACT: KIEHL SEMLER

### LEGAL DESCRIPTION

- THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
- LANDS SHOWN HEREON WERE ABSTRACTED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-1065570-H01, EFFECTIVE DATE: DECEMBER 1, 2021 AT 7:30 AM. UPDATE AND REVISION DECEMBER 8, 2021. SCHEDULE B-SECTION II EXCEPTIONS WERE REVIEWED BY THIS OFFICE AND ALL PLOTTABLE EXCEPTIONS ARE SHOWN HEREON.
- BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF N01°16'08" E ALONG THE WEST RIGHT-OF-WAY OF PARCEL A, GRAND UNION DEERFIELD BEACH, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT) AND BASED ON FIELD MEASUREMENTS. BEARINGS ANNOTATED WITH (PLAT) REFER TO RECORD PLAT BEARINGS. THE ROTATION FROM GRID TO RECORD PLAT BEARINGS IS CLOCKWISE 0°01'07".
- THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT AND IN THE COMMITMENT.
- UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- FLOOD ZONE: "X" (SHADED), "X" (UNSHADED), AND AH (EL. 14'); COMMUNITY PANEL NO. 125101 0159 H; DATE: AUGUST 18, 2014.

### DESCRIPTION

ALL THAT PART OF THE EAST 1/2 OF GOVERNMENT LOT 1, LYING NORTH OF THE RIGHT-OF-WAY OF THE WEST DIXIE HIGHWAY (STATE ROAD NO. 810), FORMERLY STATE ROAD NO. 149 OF SECTION 4, TOWNSHIP 48 SOUTH, RANGE 42 EAST, LESS RIGHT-OF-WAY OF POWERLINE ROAD AND LESS THE WEST 40 FEET THEREOF AND ALSO LESS THE EXTERNAL PORTION OF A 25 FOOT RADIUS CURVE, SAID CURVE LYING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, LANDS ALSO DESCRIBED AS THAT PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, LYING NORTH OF THE RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 810 IN SECTION 4, TOWNSHIP 48 SOUTH, RANGE 42 EAST, LESS RIGHT-OF-WAY OF POWERLINE ROAD AND LESS THE WEST 40 FEET THEREOF AND ALSO LESS THE EXTERNAL PORTION OF A 25 FOOT RADIUS CURVE, SAID CURVE LYING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL. ALL LESS THE SOUTH 210 FEET OF THE EAST 200 FEET THEREOF;  
SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA;

ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 4, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 4; THENCE S 89°17'11" W ALONG THE NORTH LINE OF SAID SECTION 4 A DISTANCE OF 71.98 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE S 89°17'11" W ALONG SAID NORTH LINE A DISTANCE OF 563.07 FEET TO THE EAST LINE OF THE C-3 CANAL OF WATER MANAGEMENT DISTRICT NO. 2; THENCE S 01°14'55" E ALONG SAID EAST LINE AS RECORDED IN OFFICIAL RECORD BOOK 3193, PAGE 189, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 817.06 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST HILLSBORO BLVD. (S.R. #810); THENCE N 89°05'18" E ALONG SAID NORTH RIGHT-OF-WAY LINE AS RECORDED IN MAP BOOK 4, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 368.05 FEET; THENCE N 01°15'01" W ALONG THE WEST LINE OF PARCEL "A" OF MOBILE PLAT 10-438 AS RECORDED IN PLAT BOOK 111, PAGE 41, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA A DISTANCE OF 210.00 FEET; THENCE N 89°05'18" E ALONG THE NORTH LINE AND EASTERLY PROJECTION THEREOF, OF SAID MOBILE PLAT A DISTANCE OF 200 FEET TO THE WEST RIGHT-OF-WAY LINE OF POWERLINE ROAD; THENCE N 01°15'01" W ALONG SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 362.43 FEET TO A POINT OF CURVE; THENCE NORTHERLY ALONG SAID WEST RIGHT-OF-WAY LINE ALONG THE ARC OF A CIRCULAR CURVE TO THE LEFT (CONCAVE WESTERLY), HAVING A RADIUS OF 5927.00 FEET, A CENTRAL ANGLE OF 02°20'49", AN ARC DISTANCE OF 242.78 FEET TO THE POINT OF BEGINNING;  
SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.  
LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE WARRANTY DEED RECORDED APRIL 10, 1984 IN OFFICIAL RECORD BOOK 11614, PAGE 245, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE WARRANTY DEED RECORDED JULY 2, 1984 IN OFFICIAL RECORD BOOK 11823, PAGE 760, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
LESS AND EXCEPT THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 8, 1988 IN OFFICIAL RECORD BOOK 15251, PAGE 989, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CONTAINING 242,979 SQUARE FEET/5.5780 ACRES, MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, AND RIGHTS-OF-WAY OF RECORD.



### LOCATION MAP

1"=250'

### Sheet Index

	C-100	COVER PAGE
<u>SURVEY:</u>	1 of 3	SURVEY
	2 of 3	SURVEY
	3 of 3	SURVEY
<u>SITE PLAN:</u>	C-104	SITE PLAN
	C-105	MASTER PLAN
<u>ELEVATIONS:</u>	A-200	EXTERIOR ELEVATIONS
	A-201	EXTERIOR ELEVATIONS
	A-202	COLOR EXTERIOR ELEVATIONS
<u>FLOOR PLANS:</u>	A-110	FLOOR PLAN
	A-140	ROOF PLAN
	A-190	TRASH ENCLOSURE AND DETAILS
<u>LANDSCAPE PLAN:</u>	LA1-00	OVERALL EXISTING VEGETATION PLAN
	LA2-00	OVERALL PLANTING PLAN
	LA2-01	PLANTING SPECS & DETAILS
<u>IRRIGATION PLAN:</u>	IR1-01	IRRIGATION LAYOUT PLAN
	IR1-02	EXISTING IRRIGATION SPECS & DETAILS
<u>PHOTOMETRIC PLAN:</u>	E-6	PHOTOMETRIC SITE PLAN
<u>EXISTING CONDITIONS PLAN:</u>	EX-1	EXISTING CONDITIONS PLAN

### PROJECT DESCRIPTION:

THE PROJECT INCLUDES THE CONSTRUCTION OF A 2,036 SF STAND ALONE BUILDING TO ACCOMMODATE PROPOSED RETAIL BANK USE WITH DRIVE THROUGH. THE WORK WILL INCLUDE EXTERIOR IMPROVEMENTS TO THE SITE DRAINAGE, SIDEWALK, AND PARKING LOT LIGHTING AND STRIPING.

This item has been digitally signed and sealed by ERIK WILCZEK, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

LICENSED PROFESSIONAL  
ERIK J. WILCZEK  
FL LICENSE NUMBER  
58216

No.	REVISIONS	DATE	BY

PROJECT #  
083-02  
DATE  
06-02-2025  
SCALE - AS NOTED  
DESIGNED BY  
TZ  
DRAWN BY  
TZ  
CHECKED BY  
EW

FIFTH THIRD BANK

BROWARD COUNTY, FL

DEERFIELD BEACH

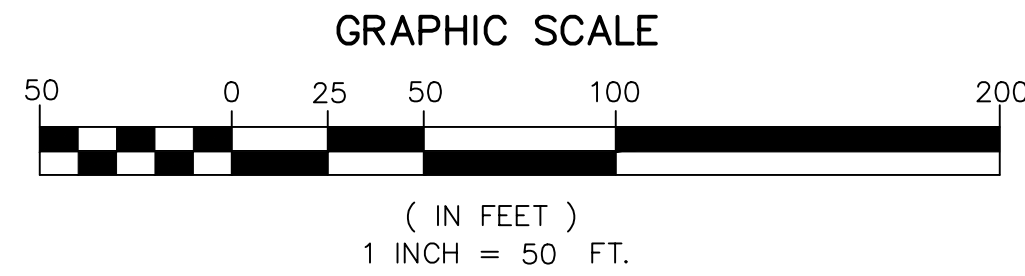


COVER PAGE

SHEET NUMBER  
C-100

**LEGEND**

- A/C - AIR CONDITIONER
- ARC - ARC LENGTH
- ALUM. - ALUMINUM
- B.E. - BUFFER EASEMENT
- C.C. - CLEANOUT
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- COV. COVERED
- D.E. - DRAINAGE EASEMENT
- ELEC. - ELECTRIC
- ELEV. - ELEVATION
- EQUIP. - EQUIPMENT
- ESMT. - EASEMENT
- F.O.H. - FIBER OPTIC HANDHOLE
- F.P.L. - FLORIDA POWER & LIGHT
- FIN. - FINISHED
- FLR. - FLOOR
- FND. - FOUND
- I.R./CAP - IRON ROD & CAP
- INV. - INVERT
- IRR. - IRRIGATION
- L.A.E. - LIMITED ACCESS EASEMENT
- O/S - BUILDING OFFSET
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B.C.R. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- PGS. - PAGE(S)
- P.R.M. - PERMANENT REFERENCE MONUMENT
- PROP. - PROPOSED
- R. - RADIUS
- R/W - RIGHT-OF-WAY
- RGE. - RANGE
- SEC. - SECTION
- Δ - DELTA (CENTRAL ANGLE)
- SO. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- TYP. - TYPICAL
- U.E. - UTILITY EASEMENT
- W.M. - WATER METER
- W.E. - WATER EASEMENT
- S.E. - SANITARY EASEMENT
- LIGHT POLE
- FIRE HYDRANT
- CATCH BASIN
- WATER VALVE
- SET 5/8" IR/CAP LB 3591
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- WOOD POWER POLE (UNLESS NOTED)
- CENTER LINE
- EXISTING ELEVATION
- TRAFFIC SIGN
- ELECTRICAL WIRES OVERHEAD
- ANCHOR
- WATER METER
- RPZ
- GROUND LIGHT
- ELECTRIC HAND HOLE
- IRRIGATION CONTROL VALVE
- CONCRETE POWER POLE
- FIRE DEPARTMENT CONNECTION

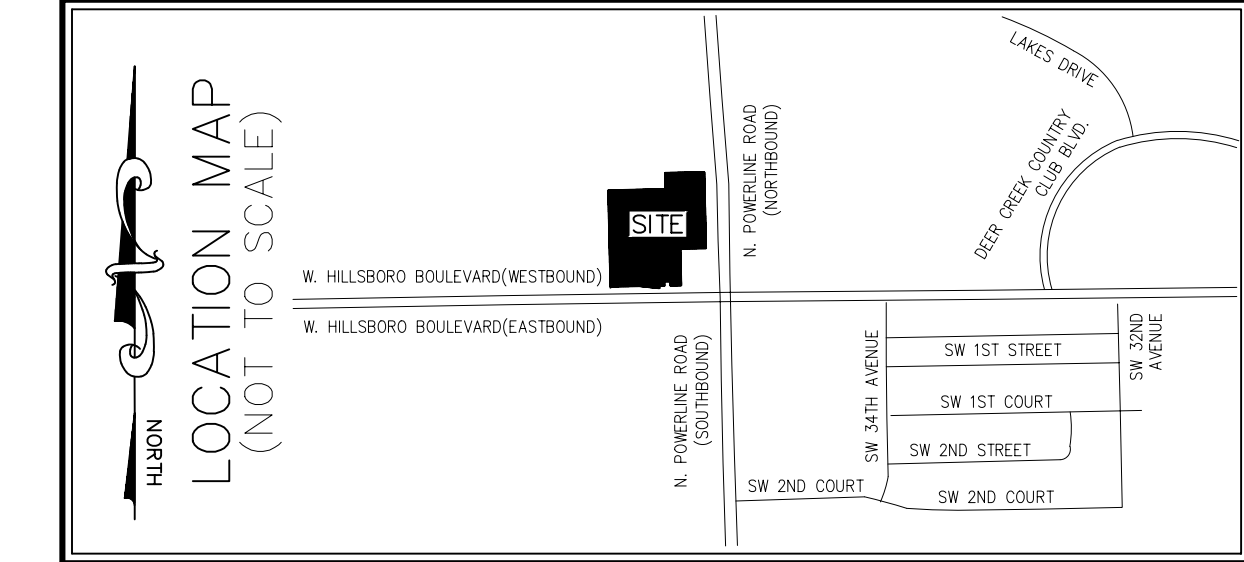
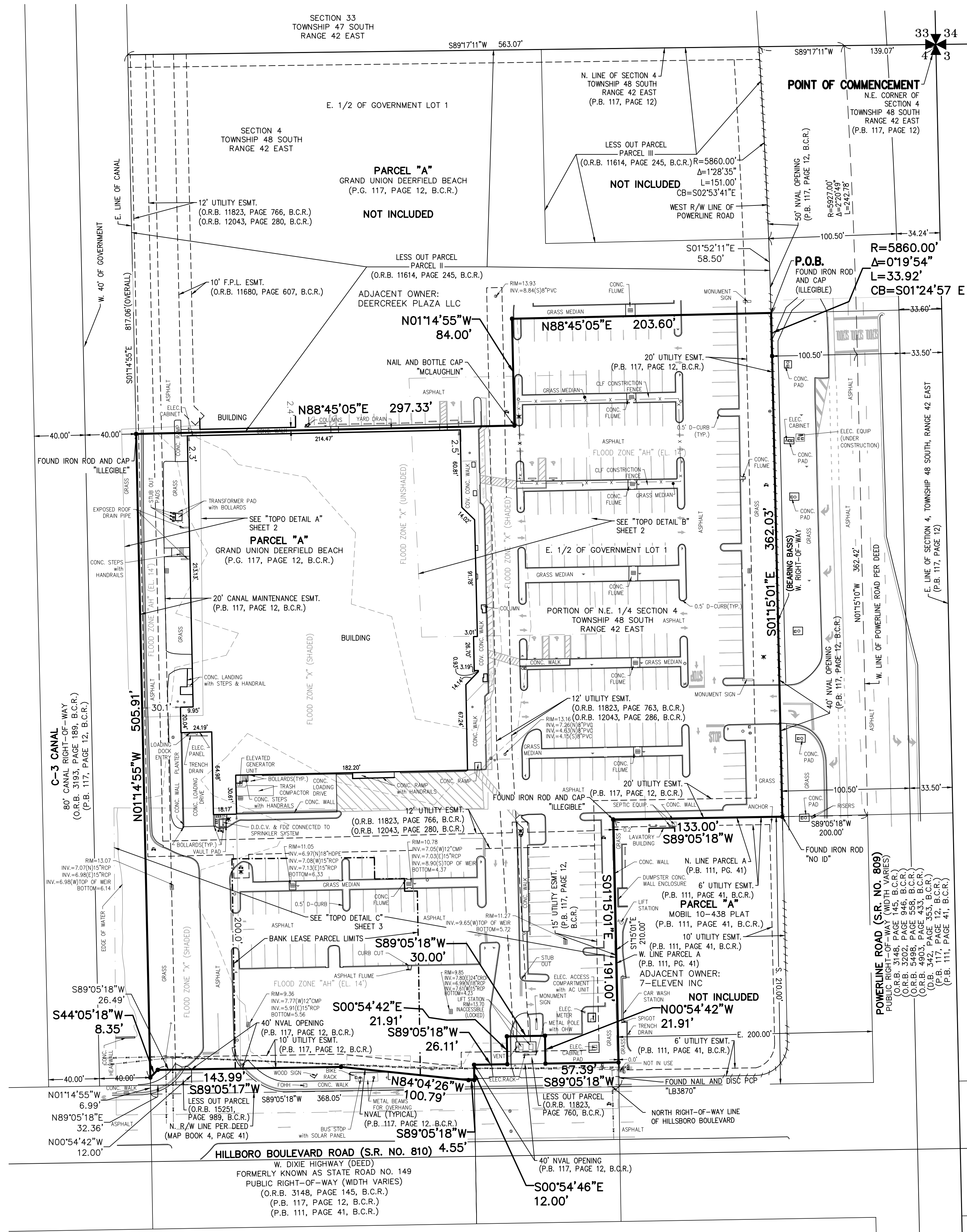


**PARKING TABULATION**  
 HANDICAP SPACES=4  
 REGULAR SPACES=237  
 TOTAL SPACES=241

**SCHEDULE B-II EXCEPTIONS**

CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. COMMITMENT NO. 16-24-0292

6. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF GRAND UNION DEERFIELD BEACH, RECORDED IN PLAT BOOK 117, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS AS SHOWN]
7. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 11614, PAGE 279 AS AMENDED BY FIRST AMENDMENT TO DECLARATION RECORDED IN OFFICIAL RECORDS BOOK 20743, PAGE 862 AND SECOND AMENDMENT TO DECLARATION RECORDED IN OFFICIAL RECORDS INSTRUMENT NO. 118237498, AS MAY BE SUBSEQUENTLY AMENDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS, NOT PLOTTABLE]
8. INTENTIONALLY DELETED (PER UNDERWRITING)
9. INTENTIONALLY DELETED (DOES NOT APPLY)
10. EASEMENT DEED IN FAVOR OF CITY OF DEERFIELD BEACH RECORDED IN OFFICIAL RECORDS BOOK 11823, PAGE 763 AS AFFECTED BY CORRECTED EASEMENT DEED RECORDED IN OFFICIAL RECORDS BOOK 12043, PAGE 286 IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS AS SHOWN]
11. EASEMENT DEED IN FAVOR OF CITY OF DEERFIELD BEACH RECORDED IN OFFICIAL RECORDS BOOK 11823, PAGE 766 AS AFFECTED BY CORRECTED EASEMENT DEED RECORDED IN OFFICIAL RECORDS BOOK 12043, PAGE 280 IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS AS SHOWN]
12. INTENTIONALLY DELETED (PER UNDERWRITING)
13. MEMORANDUM OF LEASE BETWEEN ABS FLA INVESTOR LLC, A DELAWARE LIMITED LIABILITY COMPANY AND ROSS DRESS FOR LESS, INC., A VIRGINIA CORPORATION RECORDED IN OFFICIAL RECORDS BOOK 45901, PAGE 499 AS AFFECTED BY ASSIGNMENT AND ASSUMPTION OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 47478, PAGE 78 IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. [AFFECTS, NOT PLOTTABLE]
14. INTENTIONALLY DELETED (MOVED TO B1 PER UNDERWRITING)



**NOTES**

1. THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
2. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
3. LANDS SHOWN HEREON WERE ABSTRACTED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER: 16-24-0292, COMMITMENT NO. 16-24-0292, EFFECTIVE DATE: OCTOBER 25, 2024 AT 08:00 AM, SCHEDULE B-SECTION II EXCEPTIONS WERE REVIEWED BY THIS OFFICE AND ALL PLOTTABLE EXCEPTIONS ARE SHOWN HEREON.
4. BEARINGS SHOWN HEREON ARE RELATIVE TO A PLAT BEARING OF N01°15'01"E ALONG THE WEST RIGHT-OF-WAY OF PARCEL A, GRAND UNION DEERFIELD BEACH, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT) AND BASED ON FIELD MEASUREMENTS. BEARINGS ANNOTATED WITH (PLAT) REFER TO RECORD PLAT BEARINGS. THE ROTATION FROM GRID TO RECORD PLAT BEARINGS IS CLOCKWISE 0°01'07".
5. THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT AND IN THE COMMITMENT.
6. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
9. NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
10. FLOOD ZONE: "X" (SHADED), "X" (UNSHADED), AND AH (EL. 14'); COMMUNITY PANEL NO. 125101 0159 H; DATE: AUGUST 18, 2014.

**DESCRIPTION**

A PORTION OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 4, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 4; THENCE S 89° 17' 11" W ALONG THE NORTH LINE OF SAID SECTION 4 A DISTANCE OF 139.07 FEET TO A POINT AT INTERSECTION OF THE NORTH LINE OF SAID SECTION 4 AND THE WEST RIGHT-OF-WAY LINE OF POWERLINE ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES TO WIT: (1) ALONG THE ARC OF A NON-RADIAL CURVE TO THE RIGHT HAVING A RADIUS OF 5,860.00 FEET, AN ARC LENGTH OF 151.00 FEET AND BEING SUBTENDED BY A CHORD BEARING OF S 02° 53' 41" E FOR A DISTANCE OF 151.00 FEET TO A FOUND PK NAIL; (2) S 01° 52' 11" E FOR A DISTANCE OF 58.50 FEET TO A NEW IRON PIN AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES TO WIT: (1) ALONG THE ARC OF A NON-RADIAL CURVE TO THE RIGHT HAVING A RADIUS OF 5,860.00 FEET, AN ARC LENGTH OF 33.92 FEET AND BEING SUBTENDED BY A CHORD BEARING OF S 01° 24' 57" E FOR A DISTANCE OF 33.91 FEET TO A FOUND IRON PIN; (2) S 01° 15' 01" E FOR A DISTANCE 362.03 FEET TO A FOUND IRON PIN; THENCE WITH THE MOBIL OIL LINE THE FOLLOWING TWO (2) COURSES TO WIT: (1) S 89° 05' 18" W FOR A DISTANCE OF 133.00 FEET TO A FOUND IRON PIN; (2) S 01° 15' 01" E FOR A DISTANCE OF 191.00 FEET; THENCE S 89° 05' 18" W, A DISTANCE OF 57.39 FEET; THENCE N 00° 54' 42" W, A DISTANCE OF 21.91 FEET; THENCE S 89° 05' 18" W, A DISTANCE OF 30.00 FEET; THENCE S 00° 54' 42" E, A DISTANCE OF 21.91 FEET; THENCE S 89° 05' 18" W, A DISTANCE OF 26.11 FEET; THENCE S 00° 54' 46" E, A DISTANCE OF 12.00 FEET; THENCE S 89° 05' 18" W, A DISTANCE OF 4.55 FEET; THENCE N 84° 04' 26" W, A DISTANCE OF 100.79 FEET; THENCE S 89° 05' 17" W, A DISTANCE OF 143.99 FEET; THENCE S 44° 05' 18" W, A DISTANCE OF 8.35 FEET TO A POINT ALONG THE EAST LINE OF CANAL C-3, SAID LINE ALSO BEING THE WEST LINE OF DEERCREEK PLAZA; THENCE N 01° 14' 55" W, A DISTANCE OF 505.91 FEET; THENCE WITH THE DEERCREEK PLAZA LINE THE FOLLOWING THREE (3) COURSES TO WIT: (1) N 88° 45' 05" E FOR A DISTANCE OF 297.33 FEET TO A FOUND PK NAIL; (2) N01° 14' 55" W FOR A DISTANCE OF 84.00 FEET TO A FOUND PK NAIL; (3) N 88° 45' 05" E FOR 203.60 FEET TO THE POINT OF BEGINNING.

**EASEMENT (NOT PLOTTABLE)**

NON-EXCLUSIVE EASEMENTS CONTAINED IN DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 11614, PAGE 279 AS AMENDED BY FIRST AMENDMENT TO DECLARATION RECORDED IN OFFICIAL RECORDS BOOK 20743, PAGE 862 AND SECOND AMENDMENT TO DECLARATION RECORDED IN OFFICIAL RECORDS INSTRUMENT NO. 118237498

SAID LAND CONTAINING 242,979 SQUARE FEET/5.5780 ACRES, MORE OR LESS, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

**CERTIFICATE:**

TO:  
 MEDALLION DEERFIELD 3701 LLC, A FLORIDA LIMITED LIABILITY COMPANY  
 CHICAGO TITLE INSURANCE COMPANY  
 CITY NATIONAL BANK OF FLORIDA, ISA0A

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7, 8, 9 AND 13 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON 11/7/2024  
 DATE OF PLAT OR MAP: 8/5/2025

CHARGE DETAIL SHEET 3 TO 30 SCALE PER CITY PREFERENCE	8/5/2025	RW
ADD BANK LEASE PARCEL LIMITS	6/10/25	RW
ADD INVERTS AND TOPO DETAIL IN REQUESTED AREA	12/12/24	EJS
UPDATE TITLE & TOPO DETAIL	11/13/24	SF
UPDATE SURVEY AND TITLE	11/7/24	RW
ADD INVERTS AND TOPO DETAIL IN REQUESTED AREA	12/5/23	RW
REVISIONS		DATE
FILE NAME: 9480_SURV.dwg		BY

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE - SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561) 392-1991 / FAX (561) 750-1452

**3701 W. HILLSBORO BLVD.**  
**ALTA/NSPS LAND TITLE SURVEY**

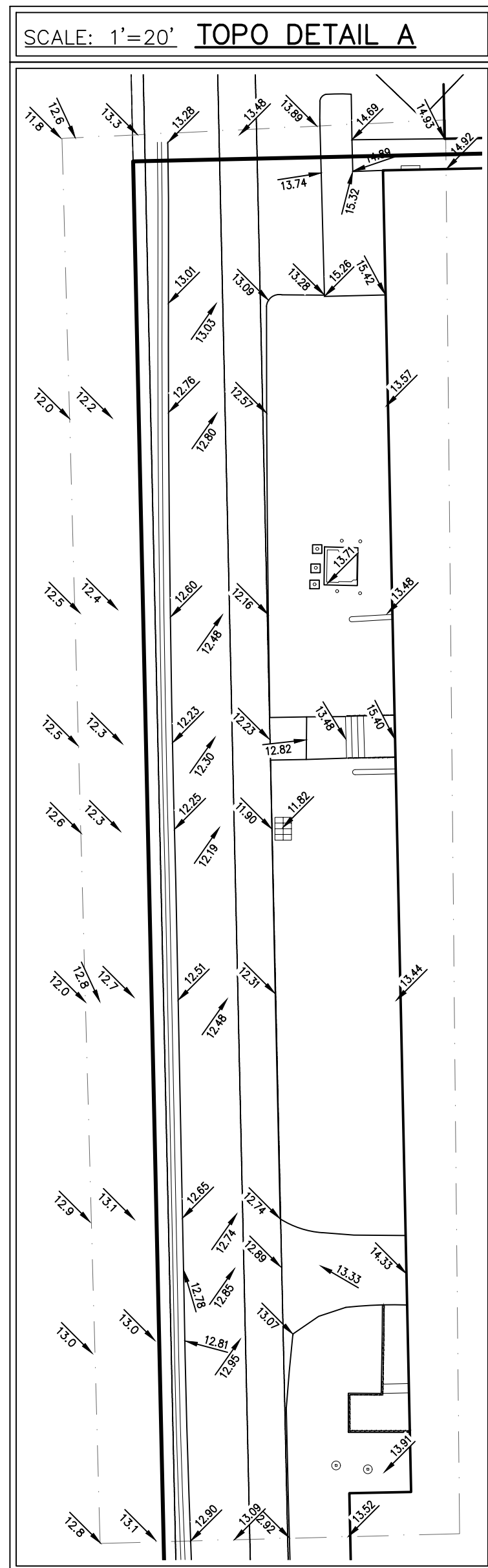
DRAWN BY: RW  
 F.B./PG.: HDS  
 SCALE: AS SHOWN

DAVID P. LINDLEY  
 REGISTERED LAND SURVEYOR NO. 5005  
 STATE OF FLORIDA  
 L.B. 3591

**JOB # 9480**  
 SHT. NO. **1**  
 OF 3 SHEETS

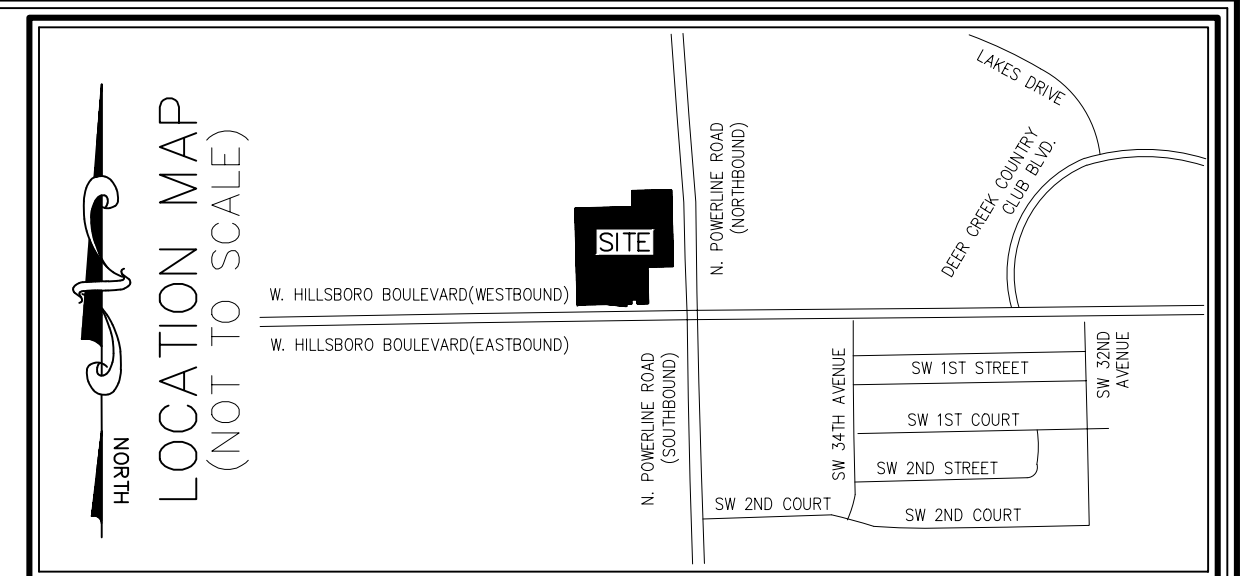
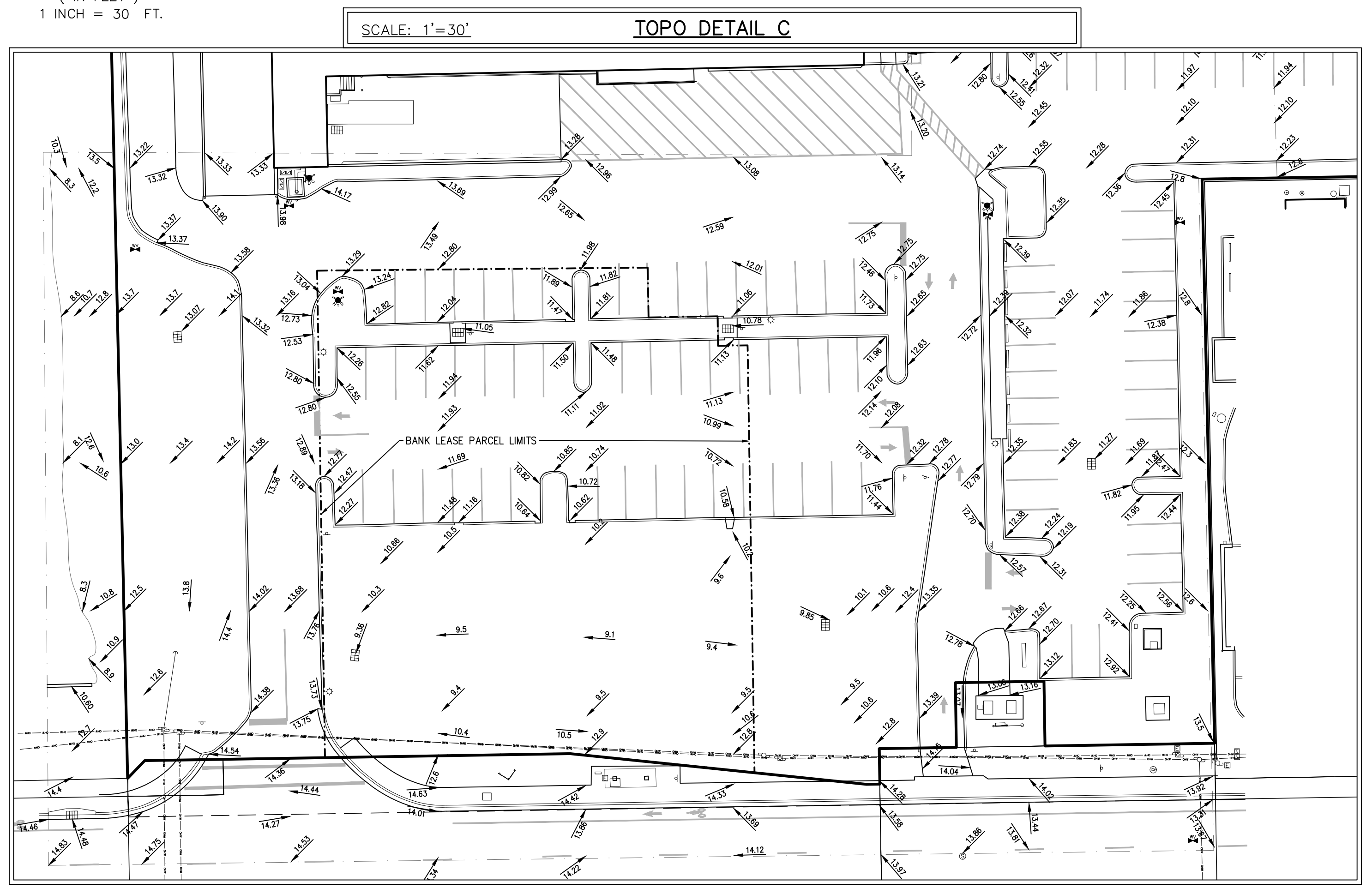
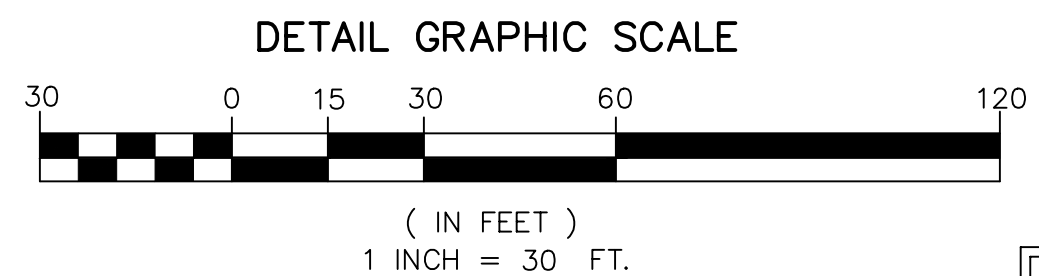
**LEGEND**

- |                                       |                                  |
|---------------------------------------|----------------------------------|
| A/C - AIR CONDITIONER                 | SO. FT. - SQUARE FEET            |
| L - ARC LENGTH                        | TWP. - TOWNSHIP                  |
| ALUM. - ALUMINUM                      | TYP. - TYPICAL                   |
| B.E. - BUFFER EASEMENT                | U.E. - UTILITY EASEMENT          |
| C.C. - CLEANOUT                       | W.M. - WATER METER               |
| CLF - CHAIN LINK FENCE                | W.E. - WATER EASEMENT            |
| CONC. - CONCRETE                      | S.E. - SANITARY EASEMENT         |
| COV. COVERED                          | - LIGHT POLE                     |
| D.E. - DRAINAGE EASEMENT              | - FIRE HYDRANT                   |
| ELEC. - ELECTRIC                      | - CATCH BASIN                    |
| ELEV. - ELEVATION                     | - WATER VALVE                    |
| EQUIP. - EQUIPMENT                    | - SET 5/8" IR/CAP LB 3591        |
| ESMT. - EASEMENT                      | - SANITARY MANHOLE               |
| FOHH - FIBER OPTIC HANDHOLE           | - DRAINAGE MANHOLE               |
| F.P.L. - FLORIDA POWER & LIGHT        | - WOOD POWER POLE (UNLESS NOTED) |
| FIN. - FINISHED                       | - CENTER LINE                    |
| FLR. - FLOOR                          | - EXISTING ELEVATION             |
| FND. - FOUND                          | - TRAFFIC SIGN                   |
| I.R./CAP - IRON ROD & CAP             | - ELECTRICAL WIRES OVERHEAD      |
| INV. - INVERT                         | - ANCHOR                         |
| IRR. - IRRIGATION                     | - WATER METER                    |
| L.A.E. - LIMITED ACCESS EASEMENT      | - RPZ                            |
| O/S - BUILDING OFFSET                 | - GROUND LIGHT                   |
| O.R.B. - OFFICIAL RECORD BOOK         | - ELECTRIC HAND HOLE             |
| P.B. - PLAT BOOK                      | - IRRIGATION CONTROL VALVE       |
| P.B.C.R. - PALM BEACH COUNTY RECORD   | - CONCRETE POWER POLE            |
| P.O.B. - POINT OF BEGINNING           | - FIRE DEPARTMENT CONNECTION     |
| P.O.C. - POINT OF COMMENCEMENT        |                                  |
| PCS - PAGE(S)                         |                                  |
| P.R.M. - PERMANENT REFERENCE MONUMENT |                                  |
| PROP. - PROPOSED                      |                                  |
| R - RADIUS                            |                                  |
| R/W - RIGHT-OF-WAY                    |                                  |
| RCE - RANGE                           |                                  |
| SEC - SECTION                         |                                  |
| Δ - DELTA (CENTRAL ANGLE)             |                                  |



**LEGEND**

- A/C - AIR CONDITIONER
- L - ARC LENGTH
- ALUM. - ALUMINUM
- B.E. - BUFFER EASEMENT
- C.C. - CLEANOUT
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- COV. COVERED
- D.E. - DRAINAGE EASEMENT
- ELEC. - ELECTRIC
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- L.A.E. - LIMITED ACCESS EASEMENT
- O/S - BUILDING OFFSET
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- SO. FT. - SQUARE FEET
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- TYP. - TYPICAL
- U/E - UTILITY EASEMENT
- W.M. - WATER METER
- W.E. - WATER EASEMENT
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- LIGHT POLE
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- SANITARY MANHOLE
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- EXISTING ELEVATION
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- ANCHOR
- WATER METER
- RPZ
- GROUND LIGHT
- ELECTRIC HAND HOLE
- IRRIGATION CONTROL VALVE
- CONCRETE POWER POLE
- FIRE DEPARTMENT CONNECTION

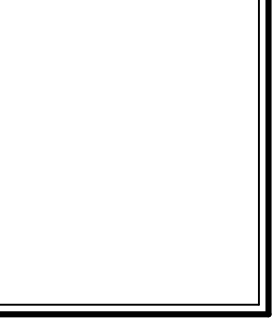


CHANGE DETAIL SHEET 3 TO 30 SCALE PER CITY PREFERENCE	8/25/25	RW
ADD BANK LEASE PARCEL LIMITS	6/10/25	RW
ADD INVERTS AND TOPO DETAIL IN REQUESTED AREA	12/12/24	EJS
UPDATE TITLE B2 EXCEPTIONS	11/13/24	SF
UPDATE SURVEY AND TITLE	11/17/24	SF
ADD INVERTS AND TOPO DETAIL IN REQUESTED AREA	12/5/23	RW
REVISIONS	11/5/23	RW
FILE NAME: 9480_SUR4.dwg	DATE	BY

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING  
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 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33424  
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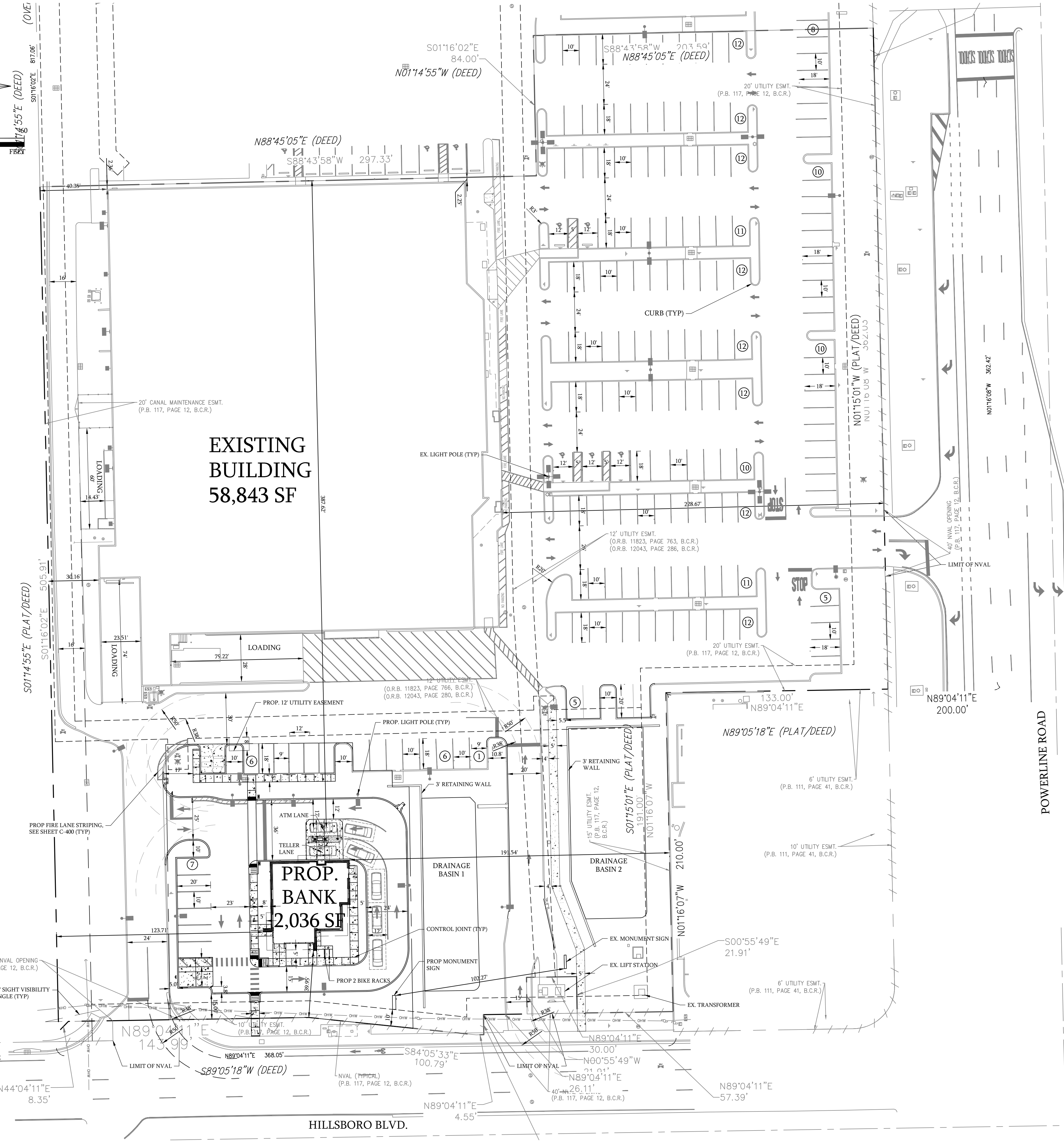
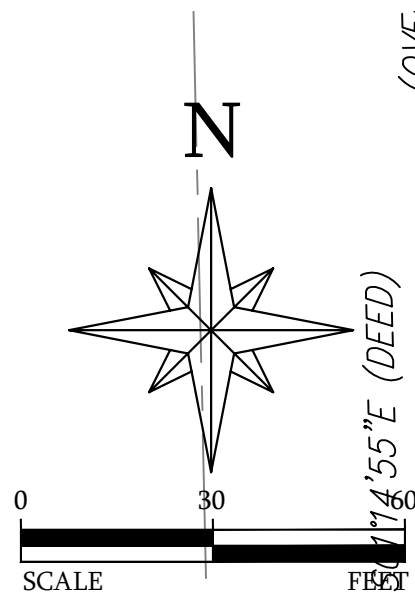
3701 W. HILLSBORO BLVD.  
 ALTA/NSPS LAND TITLE SURVEY

DRAWN BY	RW
F.B./ PG.	HDS
SCALE	AS SHOWN



JOB #	9480
SHT. NO.	3
OF 3 SHEETS	

Printed By: Erik Wilczek, License # 00144, November 21, 2025, 01:06:49pm, \\ken\ken\paul\003\Person Development\083-02 Bank Outplacement\083-02 SITE PLAN.dwg  
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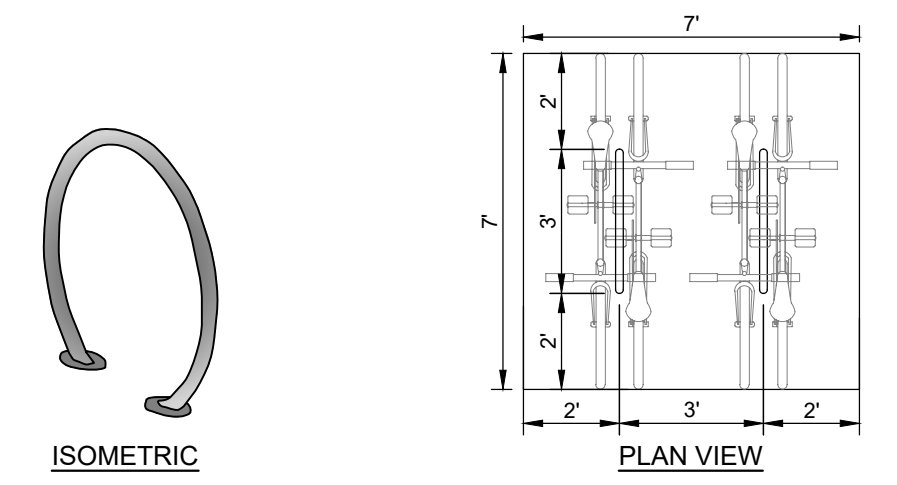


LAND USE DATA			
SITE AREA:	NET	5,578± ac (242,979± sf)	
	GROSS	7,21± ac (313,860± sf)	
EXISTING USE	58,843 SF COMMERCIAL		
PROPOSED USE	60,879 SF COMMERCIAL (58,843 ex + 2,036 prop)		
ZONING	B-1		
FUTURE LAND USE	COMMERCIAL		
PARCEL ID #	48-42-04-03-0010		
F.I.R.M. ZONE	X (PANEL 12011C0159H)		

CODE COMPLIANCE	REQUIRED	EXISTING	PROPOSED W/BANK
MIN LOT AREA	5,000 sf	242,979 sf	242,979 sf
MIN LOT WIDTH	50'	368'	368'
MIN YARD (BLDG SETBACK)			
Front	10'	229' (E)	39.95' (S)
Side	10'	190' (S)	191.54' (E)
Side	0'	2' (N)	123.71' (W)
Rear	5'	30' (W)	387.62' (N)
LANDSCAPE BUFFER			
Front	10'	27'	15'
Side	10'	22'	15'
Side	N/A	N/A	N/A
Rear	20'	3'-41'	3'-41'
MIN. FLOOR AREA	1,000 SF	58,470 SF	2,036 SF
MAX. FLOOR AREA RATIO	1.0	0.24	0.25
LOT COVERAGE	50%	24% (58,843 SF)	25% (60,879 SF)
MIN. LANDSCAPE AREA	15% (36,447 SF)	21% (51,658 SF)	23% (54,952 SF)
MAX. BUILDING HEIGHT	45'	38'	18.67'
LOADING (12'x30')	>40k SF & <60k SF = 3	2	3
TOTAL VEHICLE PARKING			
1. EXIST BLDG*	53,333/300 sf = 178		
2. PROP. BANK	2,036/300 sf = 7		
	TOTAL = 185	241	186
HANDICAP PARKING	6	5**	6

\* 5,510 SF BLDG AREA REDUCTION FOR STORAGE AREA PER SCHEDULE B OF LAND DEVELOPMENT CODE (AREA FOR PARKING CALC - TOTAL EXIST. SF - STORAGE SF = 58,843-5,510 = 53,333)

\*\* SURVEY IDENTIFIES 4 HC STALLS PRIOR TO SPROUTS MODIFICATION. AT TIME OF THIS SUBMITTAL THE CURRENT HC STALL COUNT IS 5.



**NOTES:**

- MANUFACTURE: WAUSAU TILE INC. BRAND
- PRODUCT #: MF9024
- SIZE: 36" x 32.5" H
- WEIGHT: 81 LB
- FINISH: ALUMINUM
- FEATURES: CIRCLE BIKE RACK
- MOUNTING: SURFACE MOUNT (ASSEMBLY REQUIRED)

**BIKE RACK DETAIL**

- GENERAL NOTES:**
- ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF TOP WILL BE SCREENED FROM VIEW.
  - SIGNS WILL BE PROVIDED UNDER SEPARATE PERMIT.
  - ALL OVERHEAD UTILITY LINES SHALL BE PLACED UNDER GROUND.
  - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
  - ALL TREE WORK WILL REQUIRE PERMITTING BY A REGISTERED BROWARD COUNTY TREE TRIMMER.
  - STOP BARS AND PAVEMENT MARKING ARROWS TO BE THERMOPLASTIC

**LANDSCAPE NOTES:**

- EXISTING PLANT MATERIAL OUTSIDE OF PROJECT IMPACT AREA TO REMAIN UNDISTURBED.

This item has been digitally signed and sealed by ERIC WILCZEK, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

LICENSED PROFESSIONAL	
PROJECT #	083-02
DATE	06-02-2025
SCALE	AS NOTED
DESIGNED BY	TZ
DRAWN BY	TZ
CHECKED BY	EW
NO.	1
REVISIONS	
DATE	05-14-25
BY	EW

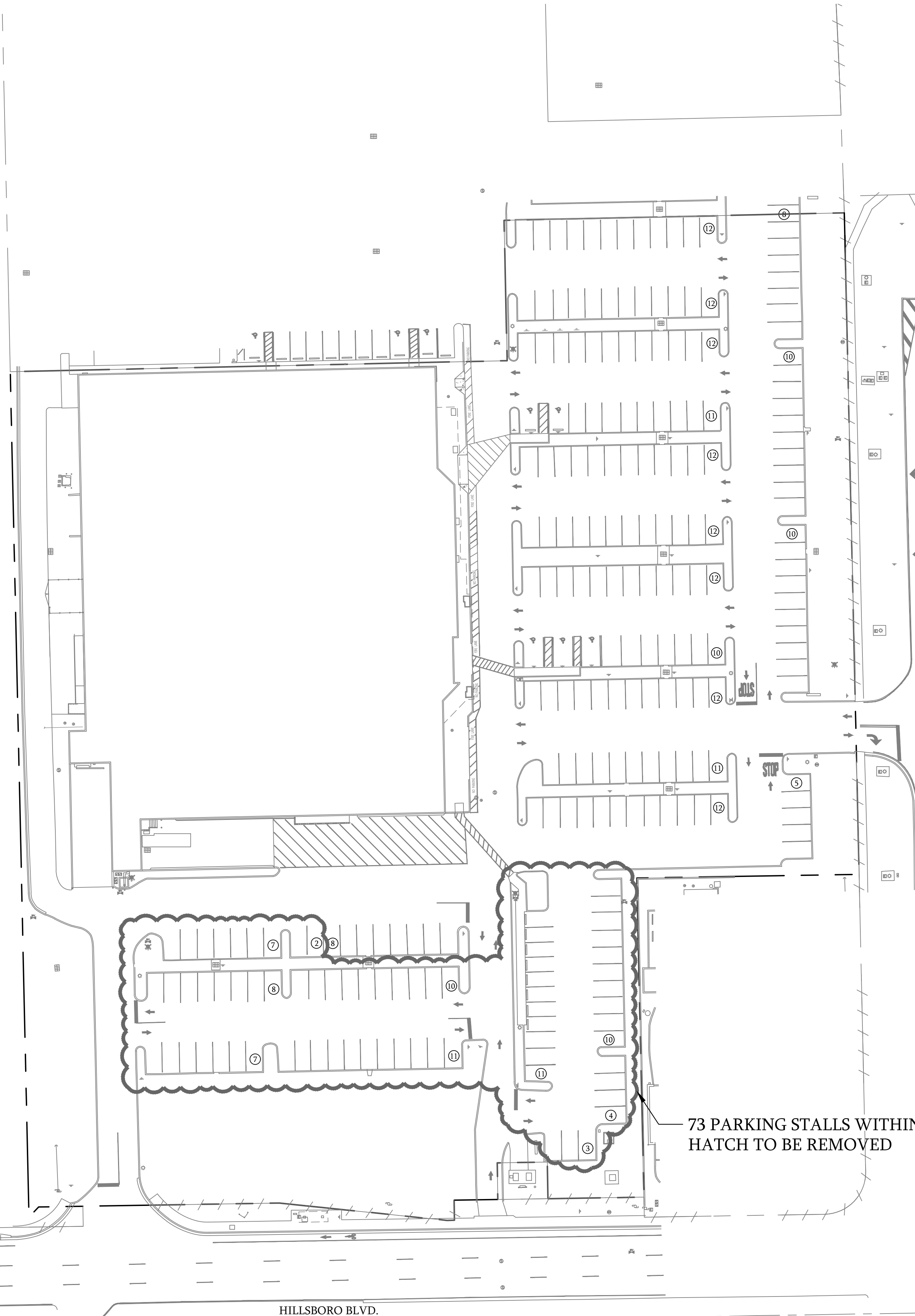
ERIK J. WILCZEK	FL LICENSE NUMBER	58216
	ADDED INTERIOR ISLANDS	11-10-25
	REVISED PER DRC COMMENTS	05-14-25

**FIFTH THIRD BANK**  
 BROWARD COUNTY, FL  
 DEERFIELD BEACH



**SITE PLAN**  
 SHEET NUMBER  
**C-104**

Printed By: Erik Wilczek, License # 58216, Date: November 24, 2025, 15:02:39pm, \\keen\ken\parks\0333\Person Development\083-C-105 MASTER PLAN.dwg  
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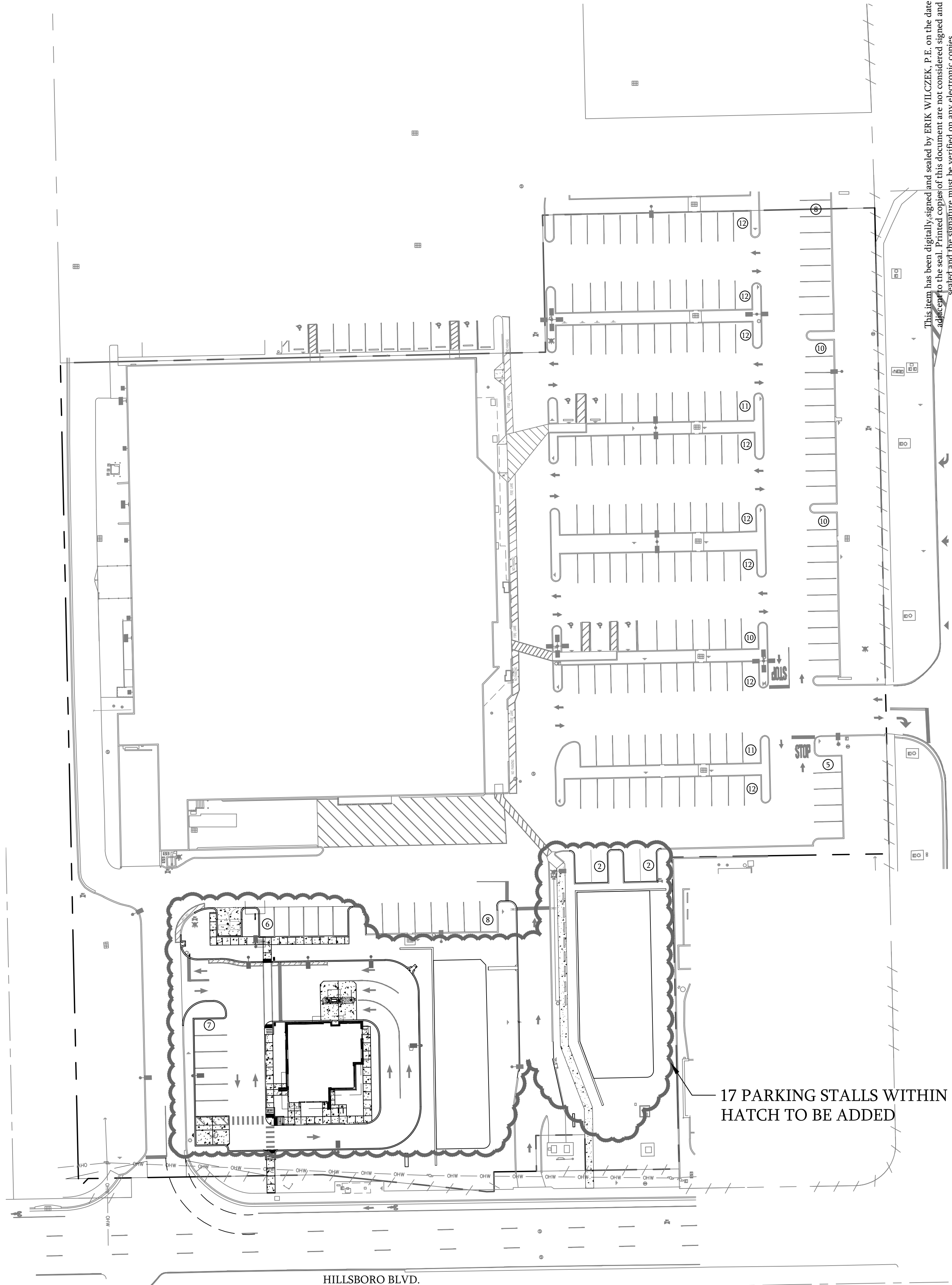


**EXISTING PARKING**

73 PARKING STALLS WITHIN HATCH TO BE REMOVED

**PARKING ANALYSIS:**

-	242 EXIST. STALLS
+	73
=	17
	186



**PROPOSED PARKING**

17 PARKING STALLS WITHIN HATCH TO BE ADDED

This item has been digitally signed and sealed by ERIK WILCZEK, P.E. on the date 11-10-25. The digital signature and seal are attached to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

<b>KEEN Engineering Inc.</b>		7280 W PALMETTO PARK RD., SUITE 105, BOCA RATON, FL 33433 PHONE: 561-325-6700 CA#31195	
<b>FIFTH THIRD BANK</b>		BROWARD COUNTY, FL DEERFIELD BEACH	
<b>MASTER PLAN</b>		<b>C-105</b>	
PROJECT #	083-02	DATE	06-02-2025
SCALE	AS NOTED	DESIGNED BY	TZ
DRAWN BY	TZ	CHECKED BY	EW
REVISIONS		DATE	BY
1	REVISED PER DRC COMMENTS	05-14-25	EW
2	ADDED INTERIOR ISLANDS	11-10-25	EW
LICENSED PROFESSIONAL		ERIK J. WILCZEK	
		FL LICENSE NUMBER 58216	

EXTERIOR FINISH SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CLEAR ANODIZED METAL	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED	STOREFRONT SYSTEMS
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	3" EIFS SYSTEM - TYP.
EIFS-2	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	5" EIFS SYSTEM - VESTIBULE PARAPET
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PAINTED GALVANIZED STEEL GATE	BENJAMIN MOORE	BALBOA MIST - OC27	
EXT-3	BRICK SILL	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
GL-1	EXTERIOR GLAZING	PPG	CLEAR	SOLARBAN 60
M-1	PREFINISHED METAL COPING	PAC-CLAD	ANODIC CLEAR	

ASSIGNED TO AOR TO COORDINATE THICKNESS PER LOCATION SITE AND COMCHECK CALCULATIONS

ACM PANEL - GENERAL NOTES

- A. ALL ACM PANELS MUST BE ANCHORED TO MINIMUM 16 GA METAL STUD FRAMING. REFER TO STRUCTURAL METAL STUD FRAMING NOT BY CA SYSTEMS.
- B. METAL STUDS MUST ALIGN WITH PANEL JOINTS AS REQUIRED FOR METAL COMPOSITE PANEL ATTACHMENT.
- C. FIXED STUDS MAY BE USED TO SUPPORT METAL COMPOSITE PANELS (G.C. TO COORDINATE)
- D. 5/8" GYP. BD SHEATHING AND/OR GLASS MAT SHEATHING WILL NOT SUPPORT METAL COMPOSITE PANEL ATTACHMENT (SHEATHING NOT BY CA SYSTEMS)
- E. ALL FLATSTOCK FABRICATED FLASHING REQUIRED FOR METAL COMPOSITE PANEL DETAILS TO BE PREFINISHED ALUMINUM. COLOR TO MATCH U.N.O.
- F. ALL DIMENSIONS AND QUANTITIES ARE TO BE FIELD VERIFIED PRIOR TO THE FABRICATION (RELEASE) OF ANY & ALL METAL COMPOSITE PANEL AND ASSOCIATED FLASHINGS.
- G. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP.
- H. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) CONDITIONS AT DISSIMILAR MATERIALS (IE, STUCCO, WINDOW MULLION)
- I. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) JOINT CONDITIONS AT DISSIMILAR MATERIALS (IE STUCCO, WINDOW MULLION)

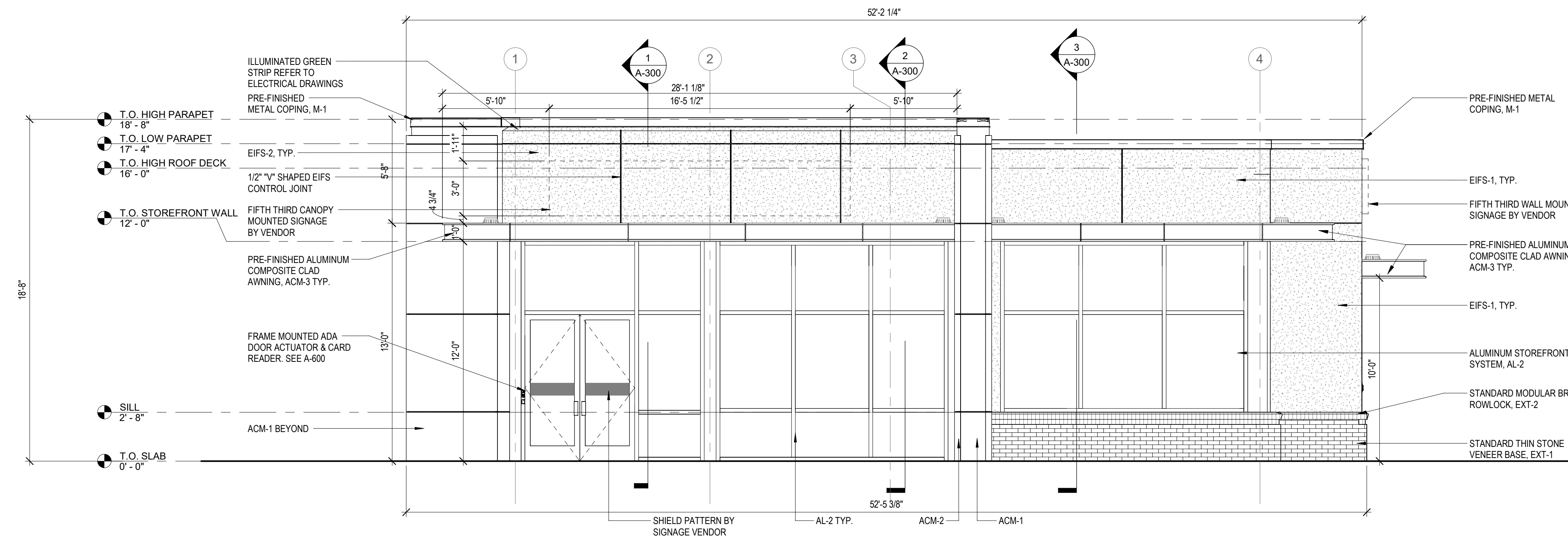


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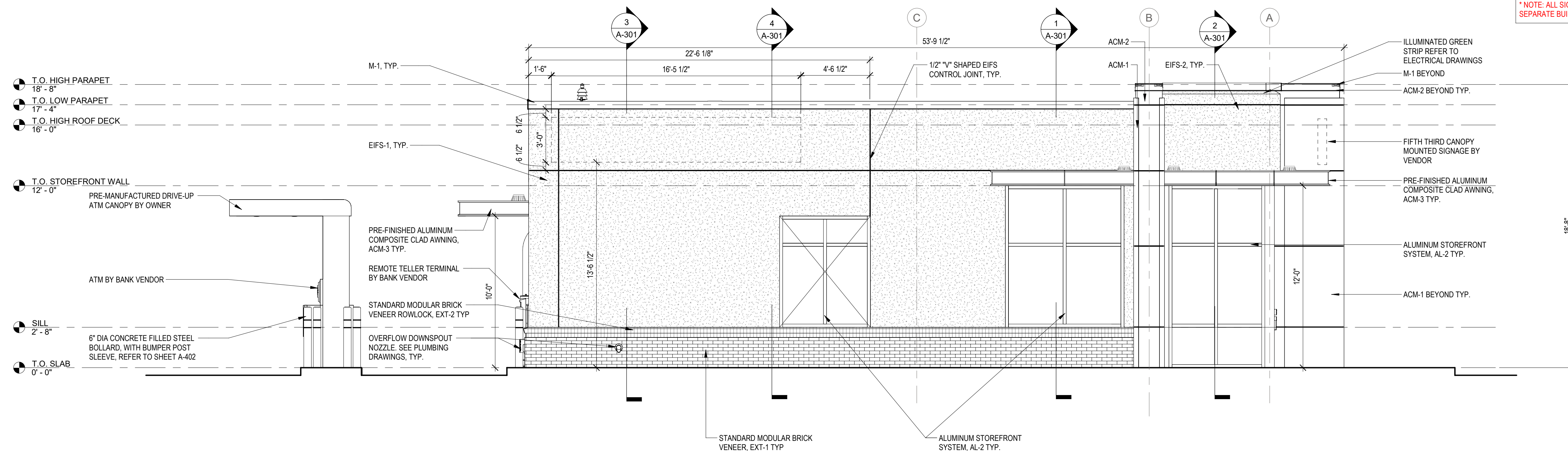
**FIFTH THIRD BANK**  
 (SOUTH OF) 3710 W. HILLSBORO BLVD  
 DEERFIELD BEACH, FL 33442

\* NOTE: ALL SIGNS REQUIRE A SEPARATE BUILDING PERMIT



SOUTH EXTERIOR ELEVATION1 1/4" = 1'-0" 1

\* NOTE: ALL SIGNS REQUIRE A SEPARATE BUILDING PERMIT



WEST EXTERIOR ELEVATION1 1/4" = 1'-0" 2

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SEAL

ISSUE	BY	DATE	DESCRIPTION
-	MC	12/10/24	PERMIT SET
1	MC	01/26/25	DRC COMMENTS
2	MC	06/02/25	Fifth Third Bank
3	MC	08/08/25	Fifth Third Bank

PROJECT INFORMATION BLOCK	
JOB #	230642
DATE:	12/10/24
DRAWN BY:	MC
CHECKED BY:	JQ

SHEET TITLE  
**EXTERIOR ELEVATIONS**  
 SHEET NUMBER

A-200

EXTERIOR FINISH SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CLEAR ANODIZED METAL	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED METAL	STOREFRONT SYSTEMS
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	3' EIFS SYSTEM - TYP.
EIFS-2	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	5' EIFS SYSTEM - VESTIBULE PARAPET
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PAINTED GALVANIZED STEEL GATE	BENJAMIN MOORE	BALBOA MIST - OC27	
EXT-3	BRICK SILL	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
GL-1	EXTERIOR GLAZING	PPG	CLEAR	SOLARBAN 60
M-1	PREFINISHED METAL COPING	PAC-CLAD	ANODIC CLEAR	

ACM PANEL - GENERAL NOTES

- A. ALL ACM PANELS MUST BE ANCHORED TO MINIMUM 16 GA METAL STUD FRAMING. REFER TO STRUCTURAL METAL STUD FRAMING NOT BY CA SYSTEMS.
- B. METAL STUDS MUST ALIGN WITH PANEL JOINTS AS REQUIRED FOR METAL COMPOSITE PANEL ATTACHMENT.
- C. FIXED STUDS MAY BE USED TO SUPPORT METAL COMPOSITE PANELS (G.C. TO COORDINATE)
- D. 5/8" GYP. BD SHEATHING AND/OR GLASS MAT SHEATHING WILL NOT SUPPORT METAL COMPOSITE PANEL ATTACHMENT (SHEATHING NOT BY CA SYSTEMS)
- E. ALL FLATSTOCK FABRICATED FLASHING REQUIRED FOR METAL COMPOSITE PANEL DETAILS TO BE PREFINISHED ALUMINUM. COLOR TO MATCH U.N.O.
- F. ALL DIMENSIONS AND QUANTITIES ARE TO BE FIELD VERIFIED PRIOR TO THE FABRICATION (RELEASE) OF ANY & ALL METAL COMPOSITE PANEL AND ASSOCIATED FLASHINGS.
- G. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP.
- H. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) CONDITIONS AT DISSIMILAR MATERIALS (IE, STUCCO, WINDOW MULLIONS)
- I. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) JOINT CONDITIONS AT DISSIMILAR MATERIALS (IE STUCCO, WINDOW MULLION)

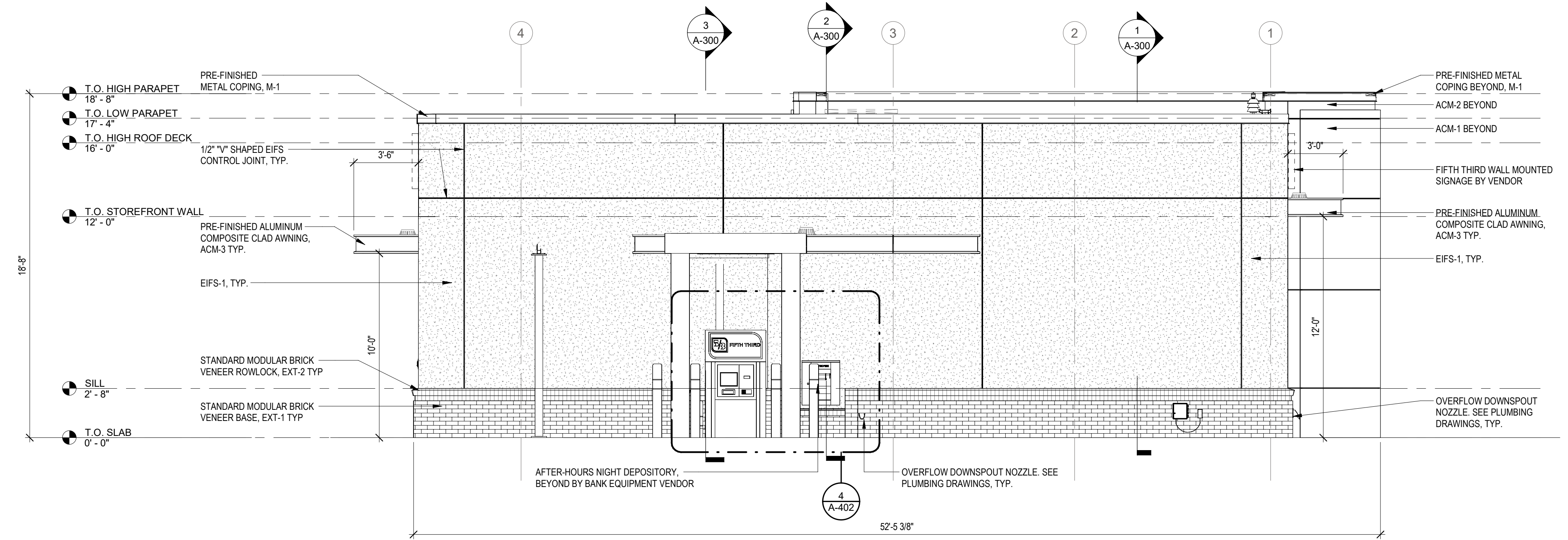


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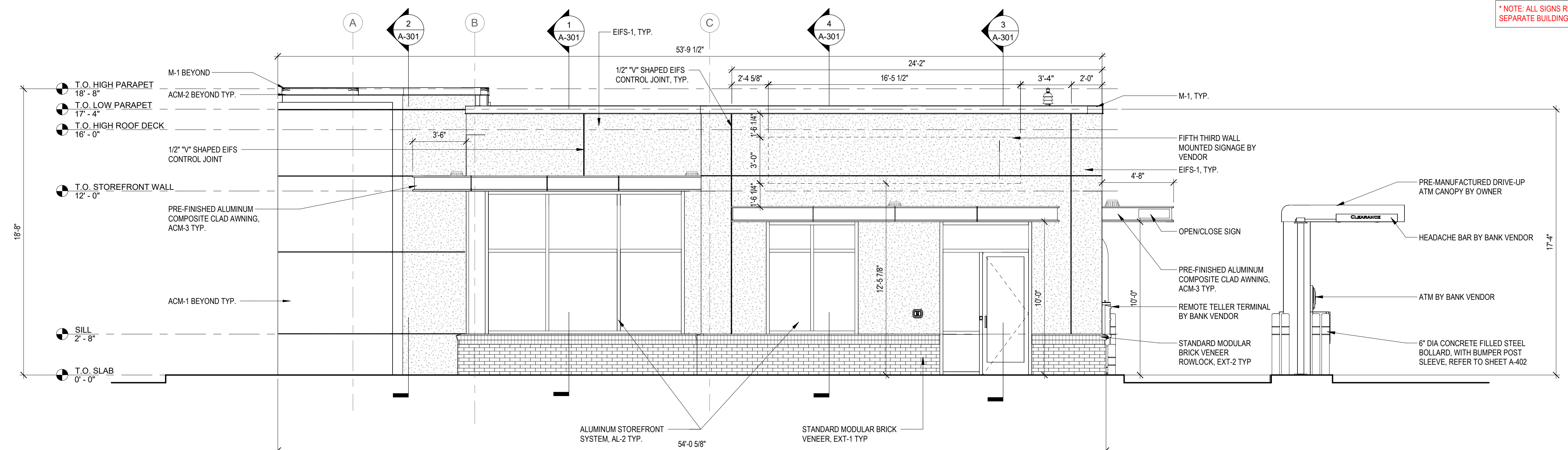
**FIFTH THIRD BANK**  
 (SOUTH OF) 3710 W. HILLSBORO BLVD  
 DEERFIELD BEACH, FL 33442

\* NOTE: ALL SIGNS REQUIRE A SEPARATE BUILDING PERMIT



NORTH EXTERIOR ELEVATION 1 | 1/4" = 1'-0" | 1

\* NOTE: ALL SIGNS REQUIRE A SEPARATE BUILDING PERMIT



EAST EXTERIOR ELEVATION 1 | 1/4" = 1'-0" | 2

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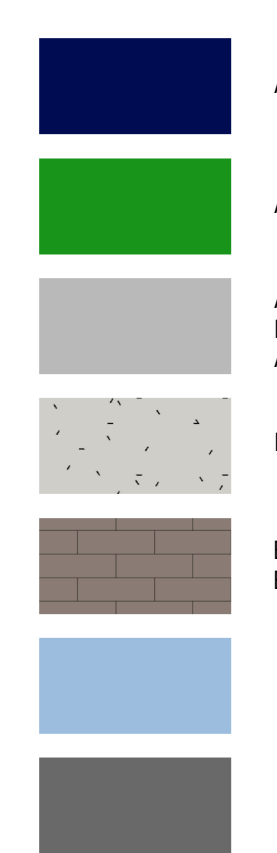
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SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A-201**

SWATCHES



EXTERIOR FINISH SCHEDULE

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
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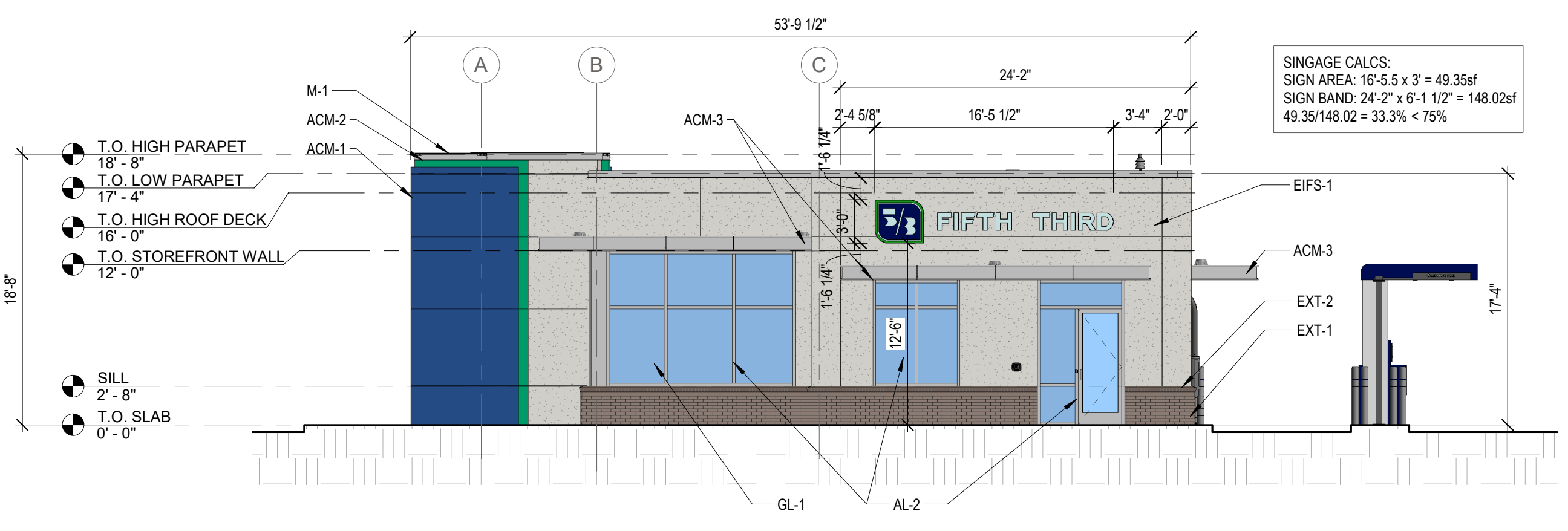
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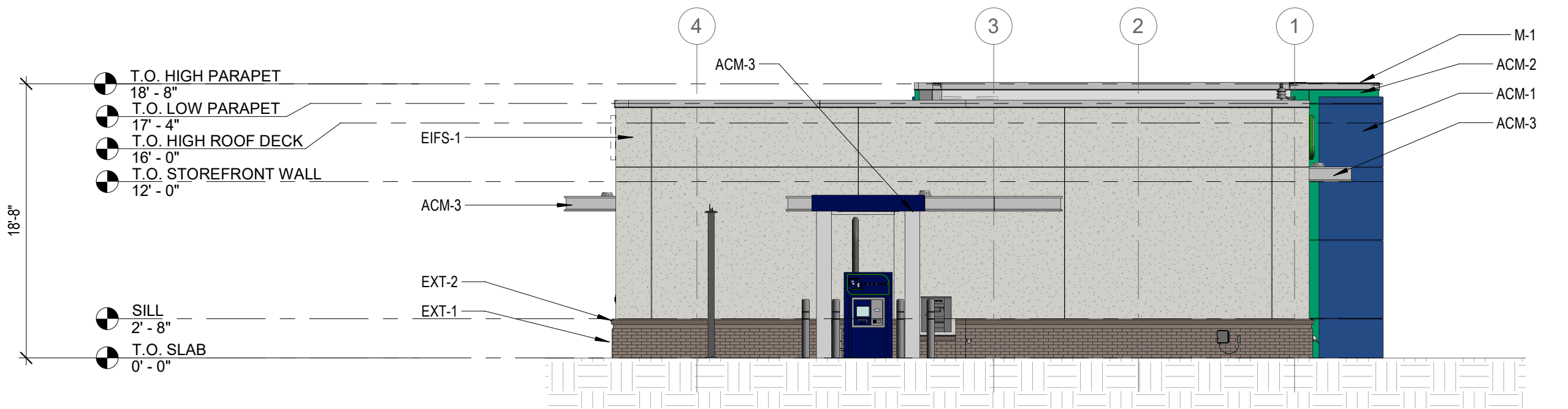
SHEET TITLE  
**COLOR EXTERIOR ELEVATIONS**

SHEET NUMBER

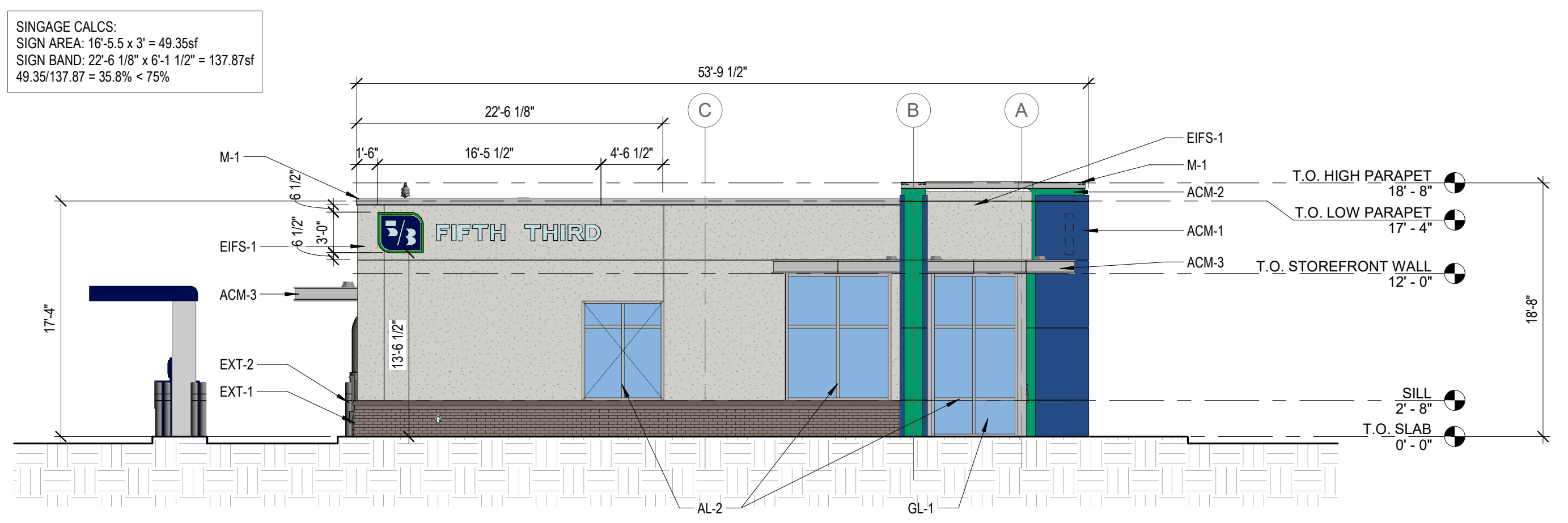
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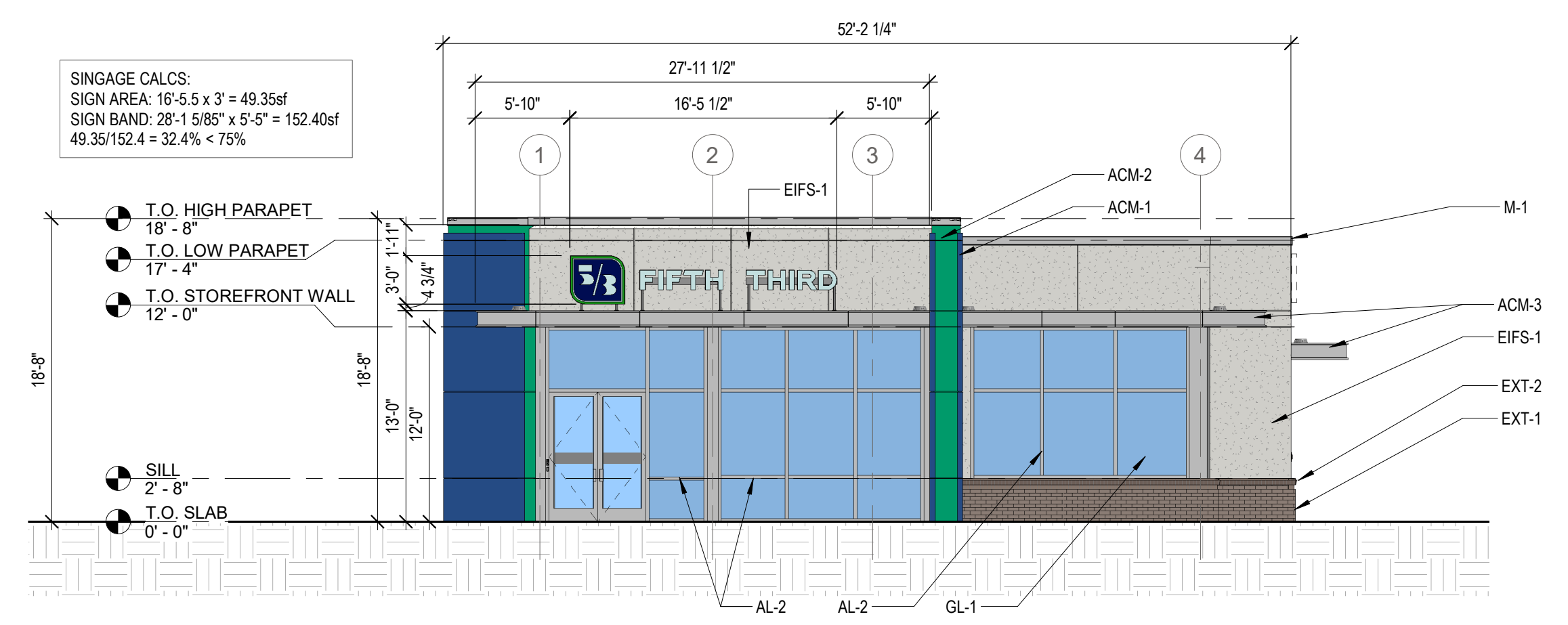
EAST EXTERIOR ELEVATIONS | 1/8" = 1'-0" | 4



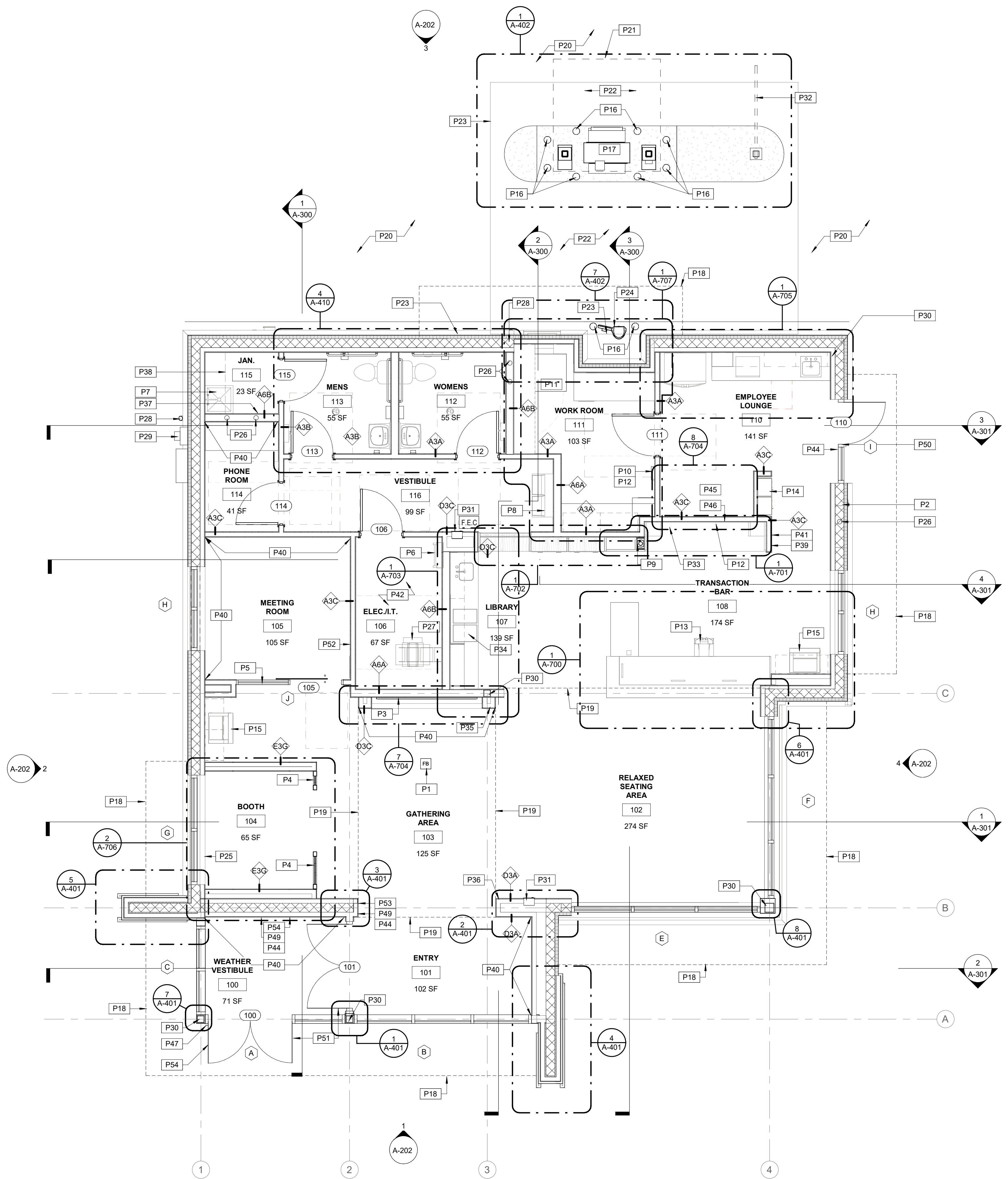
NORTH EXTERIOR ELEVATIONS | 1/8" = 1'-0" | 3



WEST EXTERIOR ELEVATIONS | 1/8" = 1'-0" | 2



SOUTH EXTERIOR ELEVATIONS | 1/8" = 1'-0" | 1



**GENERAL NOTES - FLOOR PLAN**

- A. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD
- B. EDGE OF DOOR JAMB SHALL BE MINIMUM 4" FROM INTERSECTING WALL U.N.O. OR AS REQUIRED FOR HARDWARE INSTALLATION
- C. SEE SHEET A-620 FOR PARTITION TYPES
- D. BANK EQUIPMENT TO BE SUPPLIED AND INSTALLED BY VENDOR
- E. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.
- F. CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS, AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES, WHICH RELATE TO THEIR WORK OR THE WORK OF ANY SEPARATE CONTRACTORS. ALL WOOD BLOCKING, BRIDGING, BRACING, FRAMING, ETC., SHALL BE FIRE RETARDANT TREATED AS CALLED FOR BY THE GOVERNING BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE TREATMENT TO THE OWNER
- G. ALL INTERIOR FINISHES ARE TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITIONS OF ALL GOVERNING CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION OVER THE SCOPE OF WORK
- H. CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT
- I. DRAWINGS ARE NOT TO BE SCALED
- J. LOCATION AND NUMBER OF FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE DIRECTION OF THE LOCAL AUTHORITIES AND NFPA 13
- K. FURNITURE AND MILLWORK TO BE PROVIDED BY OWNER VENDOR. G.C. TO COORDINATE LOCATION OF BLOCKING, PLUMBING, ELECTRICAL AND ALL OTHER REQUIREMENTS
- L. REFERENCE ENGINEERING PLANS FOR PLUMBING, ELECTRICAL EQUIPMENT, AND SYSTEMS. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER. (TO BE PROVIDED BY CONTRACTOR)
- M. CONTRACTOR TO SET BANKING EQUIPMENT TEMPLATES. EQUIPMENT VENDOR TO VERIFY CORRECT PLACEMENT AND TO COORDINATE WITH CONTRACTOR FOR PROPER PLACEMENT
- N. NO ADJUSTMENT TO THE CONTRACT AMOUNT WILL BE GIVEN FOR THE CONTRACTOR NOT FULLY ACQUAINTING THEMSELVES WITH EQUIPMENT VENDOR REQUIREMENTS.
- O. PINK NOISE IS TO BE PROVIDED BY THE CONTRACTOR. COORDINATE PINK NOISE LOCATION WITH MOOD MEDIA VENDOR. REFER TO ELECTRICAL DRAWINGS.
- P. REFER TO SHEET A-600 FOR DOOR AND WINDOW SCHEDULE
- Q. APPLIANCES PROVIDED AND INSTALLED BY G.C. U.N.O
- R. REFER TO SPECS FOR ATTIC STOCK QUANTITIES

**KEY NOTES - FLOOR PLAN**

- P1 FLOOR BOX LOCATION. REFER TO SLAB PLAN AND ELECTRICAL PLAN FOR MORE INFORMATION
- P2 RECESSED KNOX BOX WITH TAMPER SWITCH MOUNTED AT 48" TO THE CENTER OF BOX A.F.F., MODEL # 3200R VERIFY LOCATION WITH LOCAL MUNICIPALITY TO INSURE COMPLIANCE
- P3 WALL MOUNTED MONITOR BY BANK VENDOR. COORDINATE W/ OWNER
- P4 PNL-1 PANEL SYSTEM BY BIG APPLE VISUAL GROUP. SEE A-706 PROVIDED AND INSTALLED BY OWNER'S MILLWORKER
- P5 INTERIOR STOREFRONT GLASS WALL SYSTEM PROVIDED AND INSTALLED BY G.C.
- P6 ROOF ACCESS LADDER. REFER TO SECTION 1/A-312
- P7 MOP SINK. REFER TO PLUMBING DRAWINGS
- P8 HIGH-LOW DRINKING FOUNTAIN. REFER TO PLUMB DRAWINGS
- P9 SINGLE SIDED VAT TUBES BY BANK VENDOR G.C. TO PROVIDE MITERED BLACK ANGLED ALUMINIUM FRAME (BOTH SIDES) AROUND VAT TERMINAL. G.C. TO COORDINATE OPENING SIZE AND LOCATION WITH BANK VENDOR
- P10 DUAL CONTROL KEY BOX
- P11 COMBO NIGHT DEPOSIT BOX / CASH VAULT. FURNISHED BY NATIONAL VENDOR AND INSTALLED BY NATIONAL VENDOR. PREPARATION BY G.C. G.C. TO PROVIDE INSULATION AND WOOD TRIM ON INTERIOR UPON COMPLETION OF ALL ELECTRIC & ALARM WIRING. G.C. TO PROVIDE WOOD BLOCKING BETWEEN BASE OF UNIT AND FLOOR. G.C. TO CONFIRM AND COORDINATE EQUIPMENT CUT SHEETS WITH BANK AND EQUIPMENT VENDOR PRIOR TO INSTALLATION OF WALL OPENING
- P12 WALL MOUNTED MONITOR BY BANK VENDOR. COORDINATE W/ OWNER'S VENDOR AND MEP DRAWINGS
- P13 TCR MACHINE BY BANK VENDOR. COORDINATE WITH OWNER
- P14 LOCKERS PROVIDED AND INSTALLED BY OWNER'S VENDOR (LOTH)
- P15 COPIER/PRINTER BY BANK VENDOR
- P16 6" DIA CONCRETE FILLED STEEL BOLLARD WITH BANK STANDARD SLEEVE. REFER TO SHEET A-402
- P17 ATM BY BANK VENDOR
- P18 LINE OF CANOPY ABOVE
- P19 LINE OF SOFFIT ABOVE
- P20 ASPHALT PAVEMENT - REFER TO CIVIL
- P21 LINE OF PREMANUFACTURED DRIVE-UP ATM CANOPY, BY OWNER
- P22 CONCRETE SLAB. REFER TO STRUCTURAL & CIVIL DRAWINGS
- P23 EDGE OF CONCRETE DRIVE CURB. REFER TO STRUCTURAL & CIVIL DRAWINGS
- P24 REMOTE TELLER TERMINAL
- P25 INSTALL POWER/DATA RECEPTACLES 27" TO THE TOP OF THE JUNCTION BOX. ADJUST IN FIELD AS NEEDED TO MAKE SURE THAT BOTTOM OUTLETS WILL NOT CONFLICT WITH FURNITURE. COORDINATE WITH ELECTRICAL DRAWINGS
- P26 ROOF LEADER. REFER TO PLUMBING DRAWINGS
- P27 DATA RACK. COORDINATE WITH MEP DRAWINGS
- P28 DOWNSPOUT NOZZLE. REFER TO PLUMBING DRAWINGS
- P29 ELECTRICAL METER. REFER TO ELECTRICAL DRAWINGS
- P30 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS
- P31 RECESSED FIRE EXTINGUISHER CABINET, 10 AB UL RATED 4A-80B-C
- P32 HEADACHE BAR BY BANK VENDOR
- P33 WALL PHONE AND MONITOR FOR VAT TERMINAL AT THIS LOCATION. PROVIDE WOOD BLOCKING AS REQUIRED. REFER TO ELECTRICAL DRAWINGS
- P34 G.C. TO ROUTE WATER SUPPLY FOR COFFEE AND QUENCH MACHINES THROUGH THE COUNTER
- P35 JOHN RYAN CONTROL PANEL. COORDINATE WITH VENDOR.
- P36 DRIVE-THRU INDICATOR LIGHT. INSTALLED AT 8'-0" AFF
- P37 WALL MOUNTED MOP HOLDER BY GC
- P38 WIRE SHELVING BY GC
- P39 LOCATION OF MOOD MEDIA CONTROLS
- P40 LEVEL 5 FINISH REQUIRED. WALL TO BE PRIMED AND READY TO RECEIVE FINAL FINISHES
- P41 GANG MECHOSHADE CONTROLS IN THIS LOCATION
- P42 INSTALL FIRE RETARDANT PLYWOOD ON ALL WALLS WITHIN I/ELEC ROOM. PLYWOOD TO BE 8" TALL AND PAINTED WITH FIRE RETARDANT PAINT TO MATCH ADJACENT WALL. G.C. TO MAINTAIN VISIBILITY OF FIRE TREATED MARKING ON PLYWOOD
- P44 TACTILE SIGNAGE TO BE COMPLIANT WITH ADA REQUIREMENTS. SEE G-002 FOR ADDITIONAL INFORMATION
- P45 MILLWORK BOOTH SEATING UNIT, FABRIC WRAPPED CUSHIONS, AND TABLE TO BE PROVIDED BY MILLWORKER. REFER TO BOOTH DETAIL ON A-704
- P46 PROVIDE FRT BLOCKING INTERNAL TO THE WALL. 48" TALL BLOCKING INSTALLED @ FLOOR TO SUPPORT SURFACE MOUNTED CANTILEVER TABLE ARM. COORDINATE WITH BANK FURNITURE VENDOR
- P47 SLIM PROFILE FRAME MOUNTED ADA DOOR ACTUATOR AND CARD READER. DOOR OPERATOR TO BE WIRED. REFER TO ELECTRICAL DRAWINGS. DOOR ACTUATOR TO BE MOUNTED ABOVE CARD READER. TOP OF DOOR ACTUATOR TO BE MOUNTED AT 48" AFF.
- P49 RECESSED WALL MOUNTED DUAL ADA DOOR ACTUATOR. DOOR OPERATOR TO BE WIRED. REFER TO ELECTRICAL DRAWINGS. TOP OF DOOR ACTUATOR TO BE MOUNTED AT 46" AFF.
- P50 CARD READER. REFER TO ELECTRICAL DRAWINGS
- P51 ACTIVE OPERABLE DOOR LEAF
- P52 THERMOSTAT AND SENSOR LOCATION
- P53 REGULAR ADA PUSH BUTTON
- P54 DUAL SLIM ADA PUSH BUTTON



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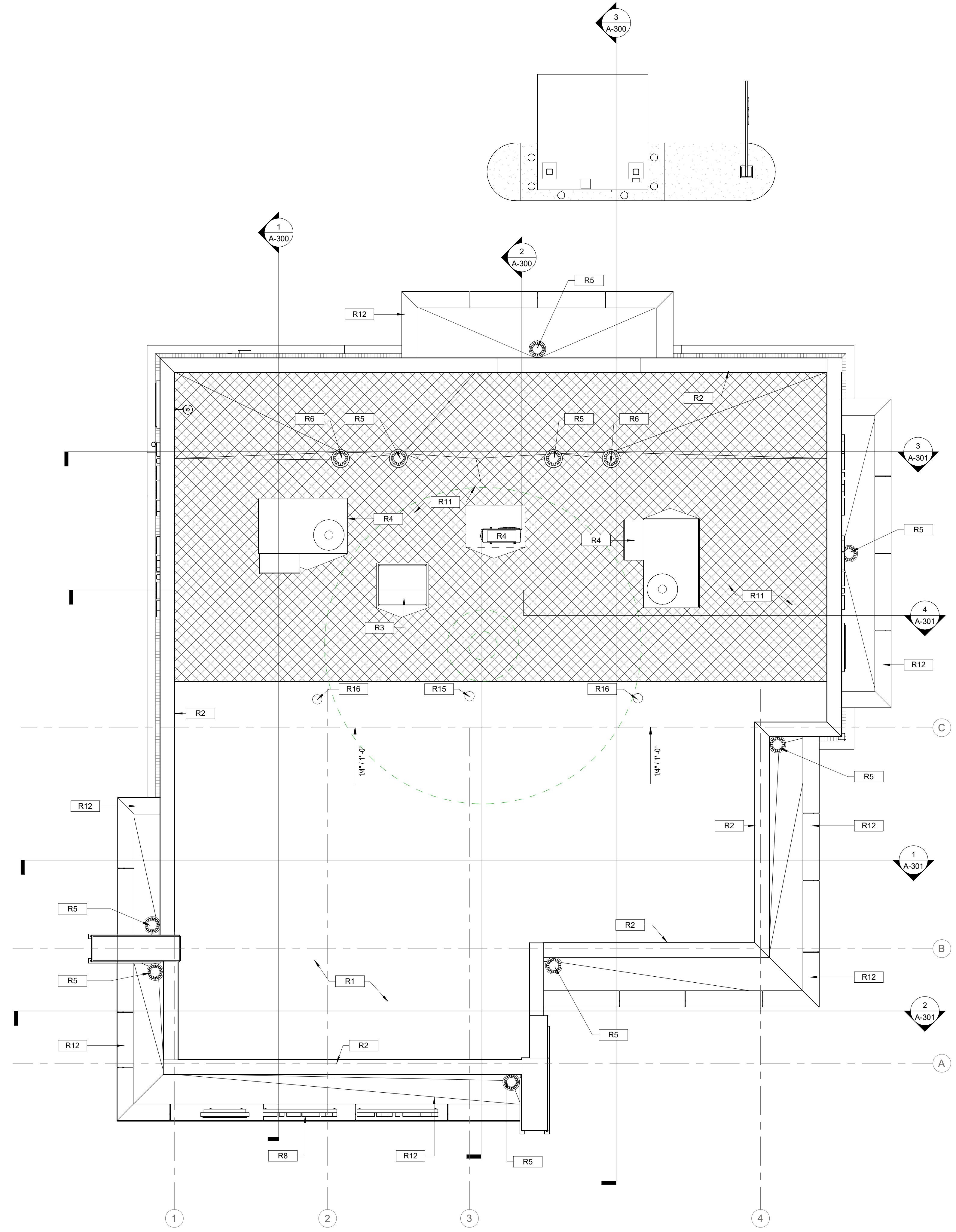
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SHEET TITLE	
FLOOR PLAN	
SHEET NUMBER	

NOTE: PROJECT NORTH IS FOR CONSTRUCTION PURPOSES ONLY. REFER TO CIVIL DRAWING FOR TRUE NORTH AND CORRECT BUILDING ORIENTATION AS IT RELATES TO THE SITE.





\* NOTE: ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF WILL BE FULLY SCREENED FROM ADJACENT STREET VIEW AND BUFFERED TO ELIMINATE NOISE.

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ROOF PLAN 1/4" = 1'-0" 1

GENERAL NOTES - ROOF PLAN

1. ROOF CRICKETS TO BE 1/4" PER FOOT MINIMUM, FULLY TAPERED POLYISOCYANURATE INSULATION, MECHANICALLY ATTACHED TO DECK BELOW AS PART OF ATTACHMENT OF LAYER ABOVE, TYP.
2. INSTALL ALL ROOF SYSTEMS AND RELATED COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. PROVIDE SHOP DRAWINGS FOR APPROVAL AS REQUIRED BY SPECIFICATIONS.
3. VERIFY AND COORDINATE LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING.
4. ALL ROOF PENETRATIONS REQUIRE PRESSURE TREATED 2x6 BLOCKING AT INSULATION AROUND ENTIRE PERIMETER FOR FLASHING ATTACHMENT.
5. OMISSION OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR SUCH ITEMS.

KEY NOTES - ROOF PLAN

- R1 60 MIL REINFORCED FULLY ADHERED TPO MEMBRANE OVER 1/4" PRE-PRIMED ROOF BOARD OVER POLYISOCYANURATE INSULATION WITH A MINIMUM R-39 VALUE TAPERED TO ACHIEVE 1/4" PER FOOT SLOPE. MECHANICALLY ATTACHED METAL ROOF DECK ON STEEL JOISTS. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- R2 CONT. METAL COPING TO COVER ENTIRE TOP OF PARAPET
- R3 30" x 36" ROOF ACCESS HATCH
- R4 MECHANICAL ROOF TOP UNIT
- R5 ROOF DRAIN, REFER TO A-440
- R6 OVERFLOW ROOF DRAIN, REFER TO A-440
- R7 CONCRETE SPLASH BLOCK
- R8 MAIN ENTRY CANOPY MOUNTED SIGNAGE
- R9 LINE OF HIGH ROOF ABOVE
- R10 PRE-FINISHED GUTTER AND DOWNSPOUT SYSTEM, TYP.
- R11 HATCH INDICATES ADDITIONAL TPO WALKWAY PAD MEMBRANE
- R12 PRE-FINISHED ALUMINUM COMPOSITE CLAD AWNING, ACM-3
- R15 VENT STACK, REFER TO PLUMBING DRAWINGS FOR LOCATION
- R16 NO VENT STACK SHALL BE LOCATED WITHIN 10'-0" RADIUS OF AN RTU INTAKE. COORDINATE WITH MECHANICAL.

ROOFING BASIS OF DESIGN: FIRESTONE 60 MIL REINFORCED FULLY ADHERED TPO  
 ALTERNATE: SARNAFIL G410-80 60 MIL PVC BY SIKA CORPORATION OR AN EQUIVALENT PRODUCT BY FIBERTITE ROOFING SOLUTIONS



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FIFTH THIRD  
 DEERFIELD BEACH  
 (SOUTH OF) 3710 W. HILLSBORO BLVD  
 DEERFIELD BEACH, FL 33442

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SEAL

ISSUE	BY	DATE	DESCRIPTION
-	MC	12/10/24	PERMIT SET
2	MC	06/02/25	Fifth Third Bank

PROJECT INFORMATION BLOCK  
 JOB # 230642  
 DATE 12/10/24  
 DRAWN BY: MC  
 CHECKED BY: JQ

SHEET TITLE  
 ROOF PLAN

SHEET NUMBER

A-140

**EXTERIOR FINISH SCHEDULE**

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CLEAR ANODIZED METAL	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED	STOREFRONT SYSTEMS
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	3" EIFS SYSTEM - TYP
EIFS-2	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	5" EIFS SYSTEM - VESTIBULE PARAPET
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PAINTED GALVANIZED STEEL GATE	BENJAMIN MOORE	BALBOA MIST - OC27	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-3	BRICK SILL	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
GL-1	EXTERIOR GLAZING	PPG	CLEAR	SOLARBAN 60
M-1	PREFINISHED METAL COPING	PAC-CLAD	ANODIC CLEAR	

**GENERAL NOTES:**

- ALL DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING U.N.O.
- REFER TO CIVIL PLAN FOR NORTH ORIENTATION
- EDGE OF DOOR JAMB SHALL BE MINIMUM 4" FROM INTERSECTING WALL UNLESS OTHERWISE NOTED OR AS REQUIRED FOR HARDWARE INSTALLATION.
- SEE SHEET A-620 FOR PARTITION TYPES.
- LOCATION AND NUMBER OF FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE DIRECTION OF THE LOCAL AUTHORITIES AND NFPA 13.
- ALL INTERIOR FINISHES ARE TO COMPLY WITH THE REQUIREMENTS AS SET FORTH IN THE CURRENT STANDARD EDITION OF ALL GOVERNING CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION OVER THE SCOPE OF WORK.
- CONTRACTOR WILL SECURE ALL BUILDING PERMITS & INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE PACE.
- DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION.
- CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES WHICH RELATE TO HIS WORK OR THE WORK OF ANY SEPARATE CONTRACTORS. ALL WOOD BLOCKING, BRIDGING, BRACING, FRAMING, ETC., SHALL BE FIRE RETARDANT TREATED AS CALLED FOR BY THE GOVERNING BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE TREATMENT TO THE OWNERSHIP.
- REFER TO EXTERIOR ELEVATIONS AND WINDOW / DOOR SCHEDULE FOR ADDITIONAL STOREFRONT INFORMATION
- REFERENCE ENGINEERING PLANS FOR PLUMBING, ELECTRICAL EQUIPMENT AND SYSTEMS. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF DRIVE-UP BANKING EQUIPMENT WITH EQUIPMENT VENDOR PRIOR TO CONSTRUCTION
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL STEEL PIPE BOLLARDS AROUND DRIVE-UP BANKING MACHINES WITH EQUIPMENT VENDOR PRIOR TO CONSTRUCTION
- CONTRACTOR TO VERIFY ALL ELECTRICAL REQUIREMENTS OF DRIVE-UP BANKING MACHINES PRIOR TO CONSTRUCTION
- CONTRACTOR TO COORDINATE MAXIMUM EXTERIOR WALL THICKNESS AT NIGHT DROP WITH EQUIPMENT VENDOR
- CONTRACTOR TO VERIFY ALL REQUIREMENTS, SIZE AND LOCATION OF NIGHT DEPOSIT WITH BANKING EQUIPMENT VENDOR PRIOR TO CONSTRUCTION
- CONTRACTOR TO FRAME FOR DRIVE-UP OPEN / CLOSE RECESSED SIGNAGE. VERIFY SIZE AND REQUIREMENTS WITH OWNER FURNISHED VENDOR.
- CONTRACTOR TO SET BANKING EQUIPMENT TEMPLATES. EQUIPMENT VENDOR TO VERIFY CORRECT PLACEMENT AND TO COORDINATE WITH CONTRACTOR FOR PROPER PLACEMENT
- NO ADJUSTMENT TO THE CONTRACT AMOUNT WILL BE GIVEN FOR THE CONTRACTOR NOT FULLY ACQUITTING HIMSELF WITH EQUIPMENT VENDOR REQUIREMENTS.
- COORDINATE PINK NOISE LOCATION WITH VENDOR. REFER TO ELECTRICAL DRAWINGS.
- ALL PAINTED STEEL PIPE BOLLARDS ARE TO RECEIVE A BOLLARD COVER TYPICAL
- ALL INTERIOR DIMENSIONS ARE FROM FINISHED FACE UNLESS INDICATED OTHERWISE.
- REFER TO SHEET A-600 SERIES FOR DOOR AND WINDOW SCHEDULE ALL DIMENSIONS ARE FROM FINISHED FACE UNLESS INDICATED OTHERWISE.
- ALL PLYWOOD SHEATHING SHALL BE FRT.



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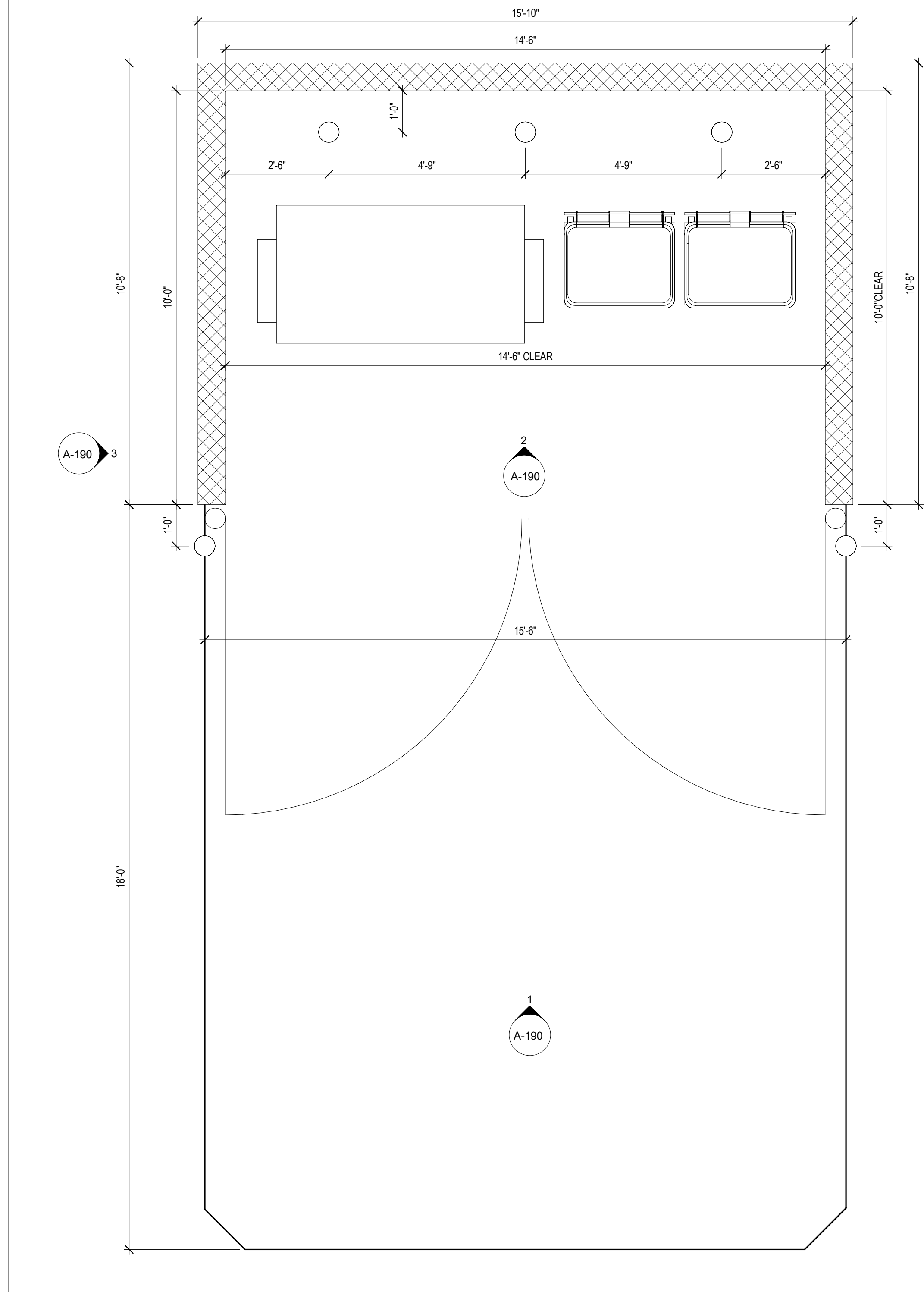


**FIFTH THIRD**  
**DEERFIELD BEACH**  
(SOUTH OF) 3710 W. HILLSBORO BLVD  
DEERFIELD BEACH, FL 33442

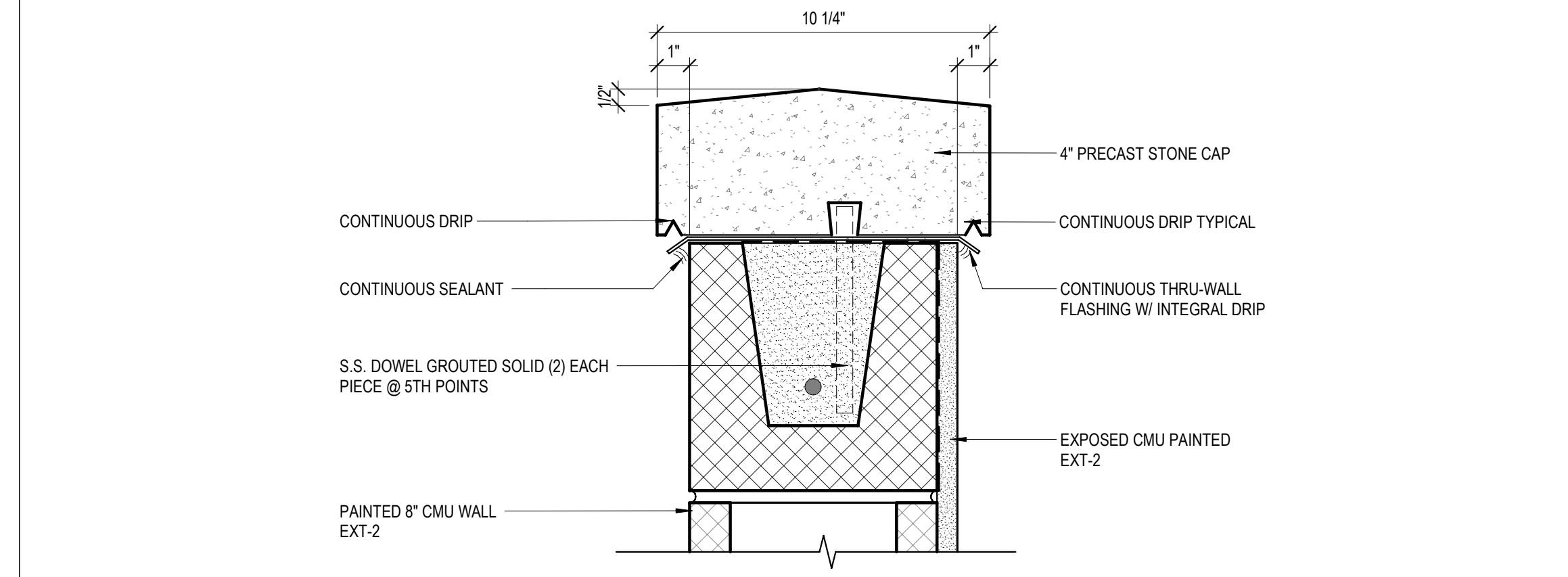
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**TRASH ENCLOSURE KEY NOTES**

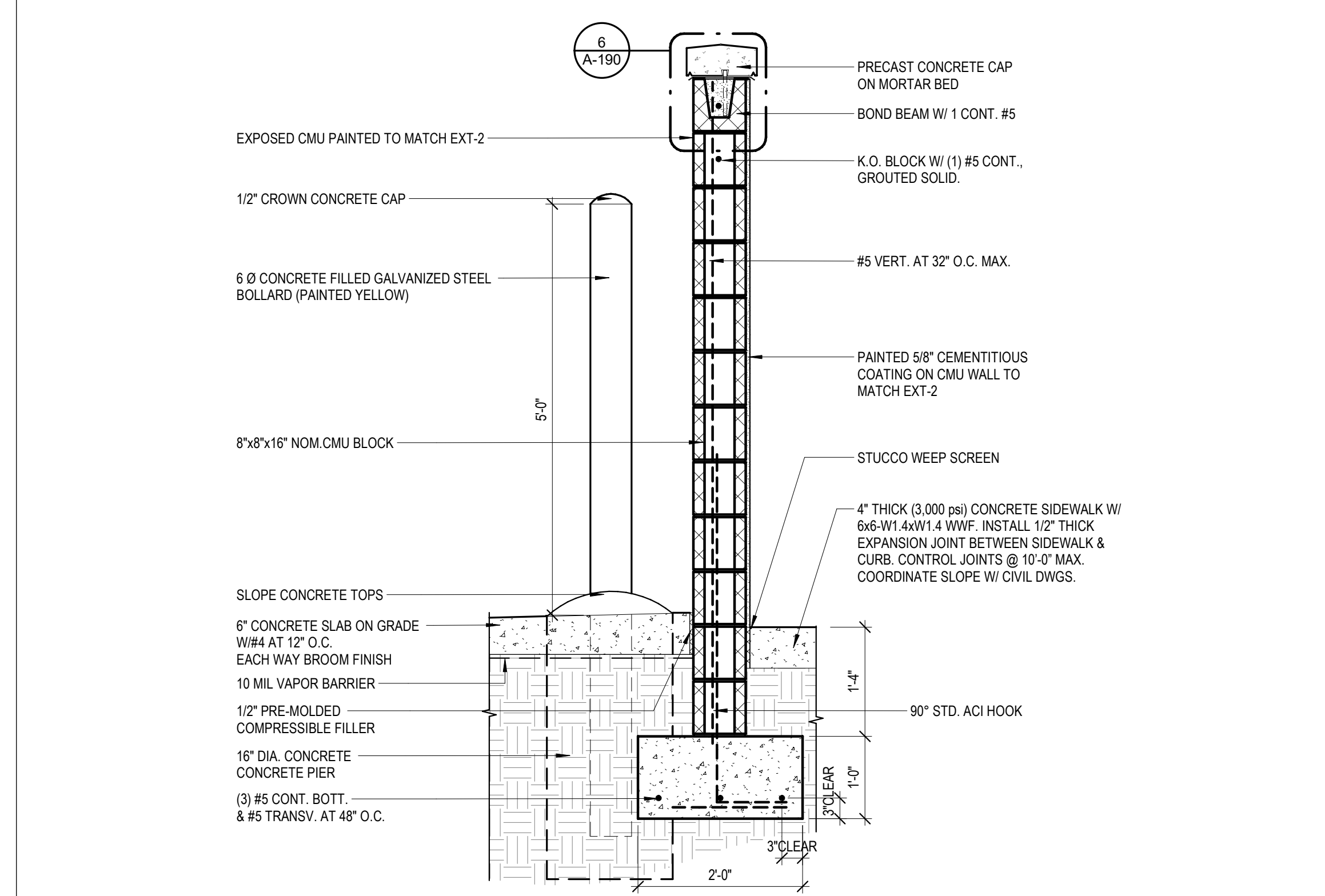
TAG	DESCRIPTION
TE1	6" DIA. CONCRETE FILLED GALVANIZED STEEL BOLLARD (PAINTED YELLOW)
TE2	6" DIA. STEEL GATE POST WITH SELF CLOSING HINGE (PAINTED TO MATCH PREFINISHED PANEL)
TE3	SIGNAGE "NO PARKING" SHALL MEET SOLID WASTE ORDINANCE
TE4	STEEL CAME BOLT ONE PER GATE (BASIS OF DESIGN: STANLEY HARDWARE #1010) WELD TO STEEL PLATE (4"x14"x1/4") ON GATE
TE5	SUPPORT WHEEL ONE PER GATE BASIS OF DESIGN: GRAINGER #1VJD5 WHEEL



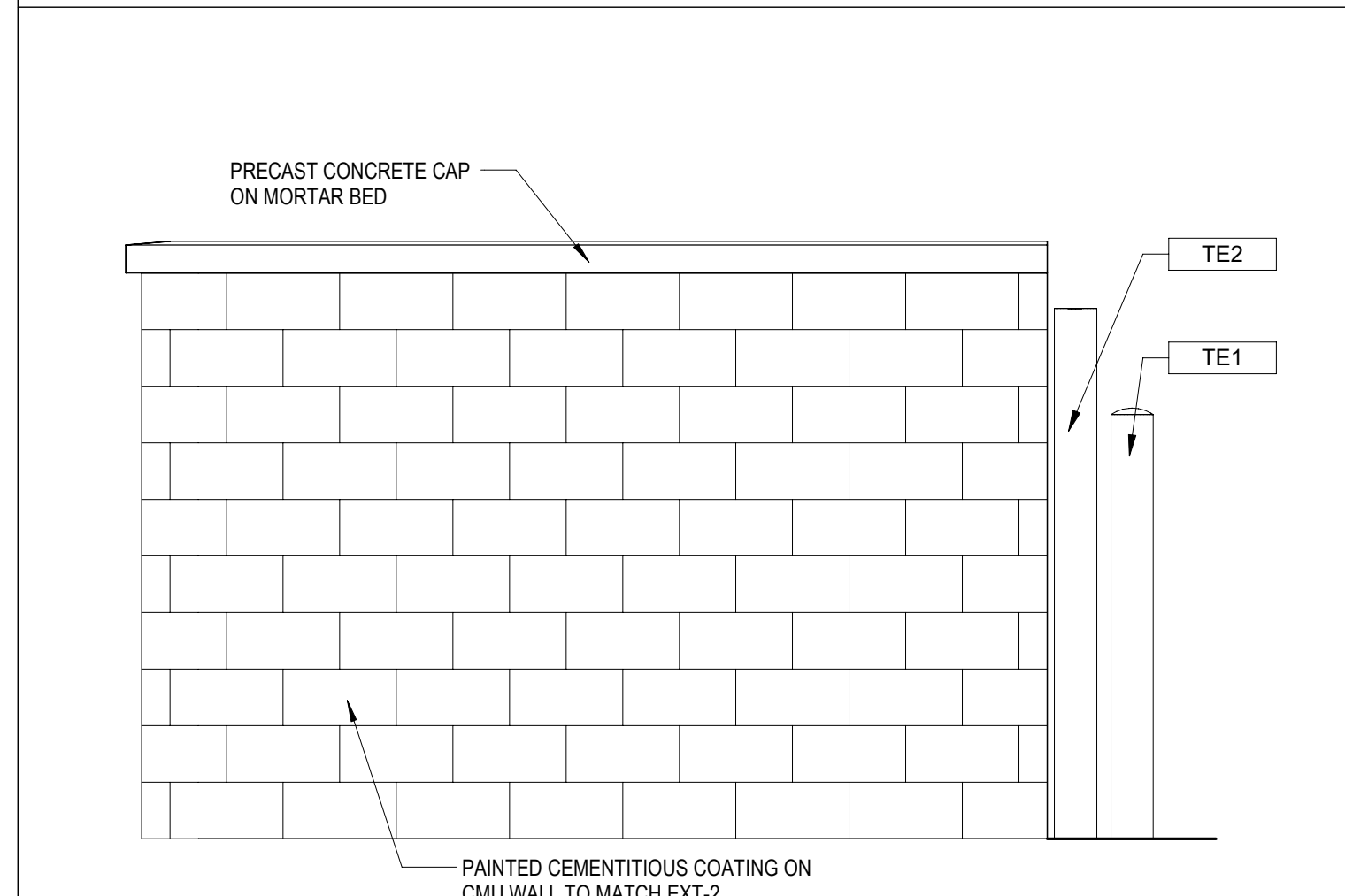
**TRASH ENCLOSURE PLAN** 1/2" = 1'-0" 5



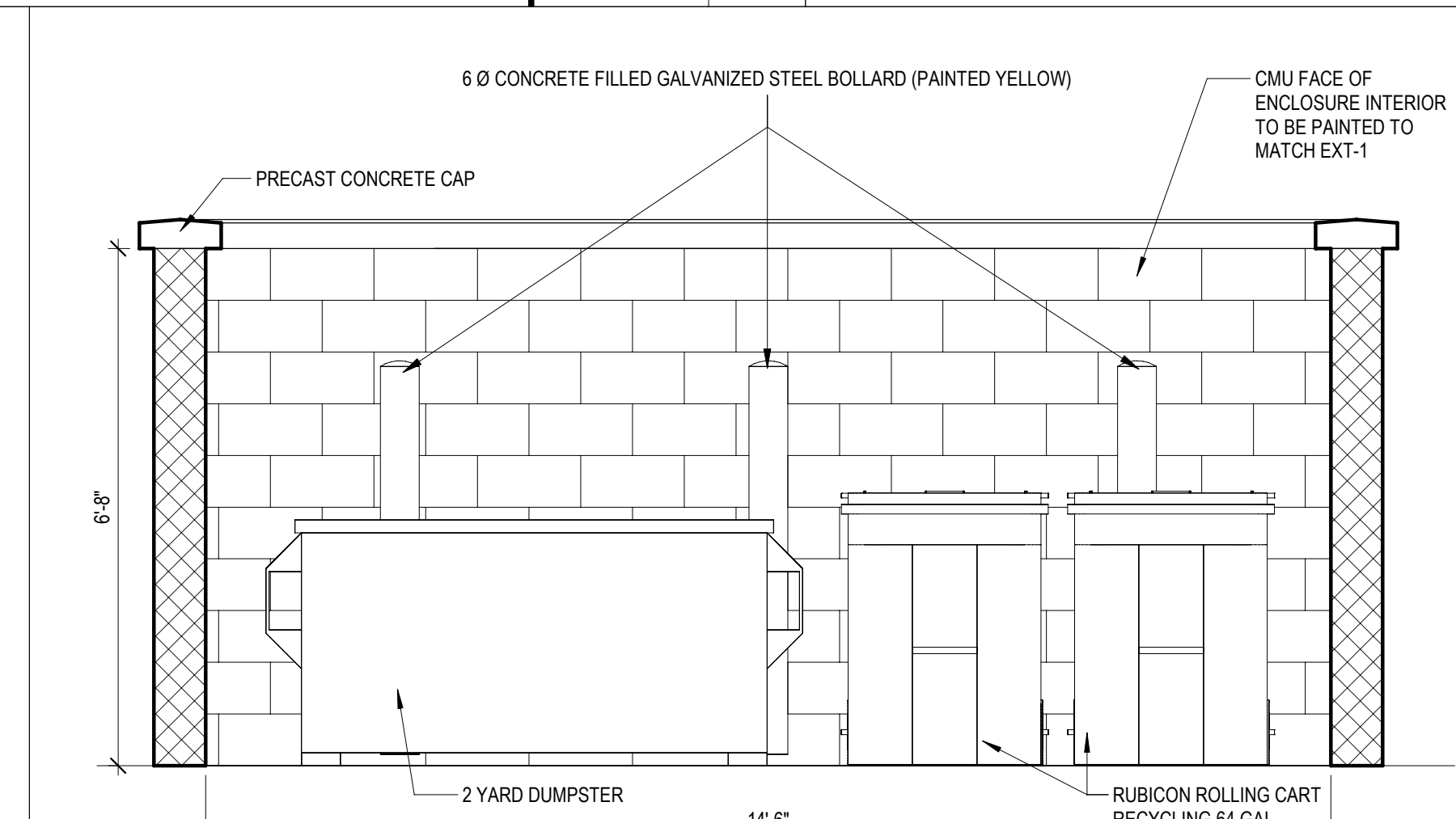
**CAP SECTION OPTION 1** 3" = 1'-0" 6



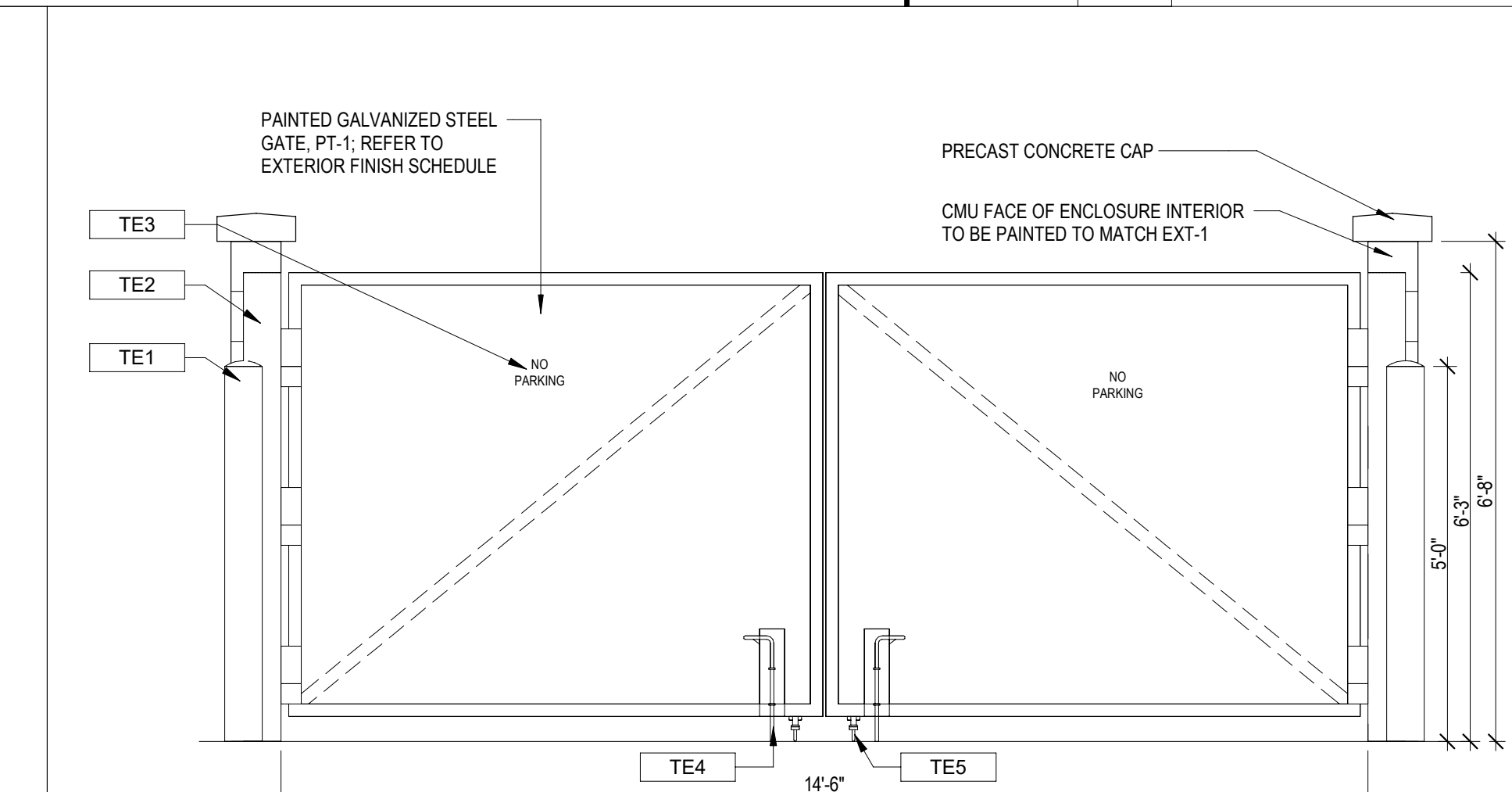
**TRASH ENCLOSURE SECTION** 3/4" = 1'-0" 4



**TRASH ENCLOSURE SIDE ELEVATION** 1/2" = 1'-0" 3



**TRASH ENCLOSURE INTERIOR ELEVATION** 1/2" = 1'-0" 2



**TRASH ENCLOSURE FRONT ELEVATION** 1/2" = 1'-0" 1

NOTE: PROJECT NORTH IS FOR CONSTRUCTION PURPOSES ONLY. REFER TO CIVIL DRAWING FOR TRUE NORTH AND CORRECT BUILDING ORIENTATION AS IT RELATES TO THE SITE.

**SEAL**

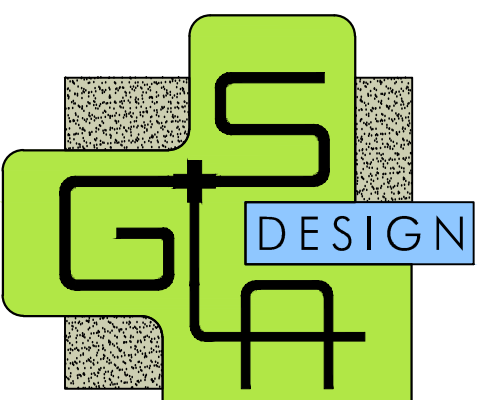
ISSUE	BY	DATE	DESCRIPTION
-	MC	12/10/24	PERMIT SET
2	MC	06/02/25	Fifth Third Bank

**PROJECT INFORMATION BLOCK**  
JOB # 230642  
DATE 12/10/24  
DRAWN BY: MC  
CHECKED BY: JQ

**SHEET TITLE**  
**TRASH ENCLOSURE AND DETAILS**

**SHEET NUMBER**

**A-190**



GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
WWW.GSLADDESIGN.COM  
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P. 205.992.1016 F. 205.992.1019  
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DEERFIELD BEACH, FL 33442



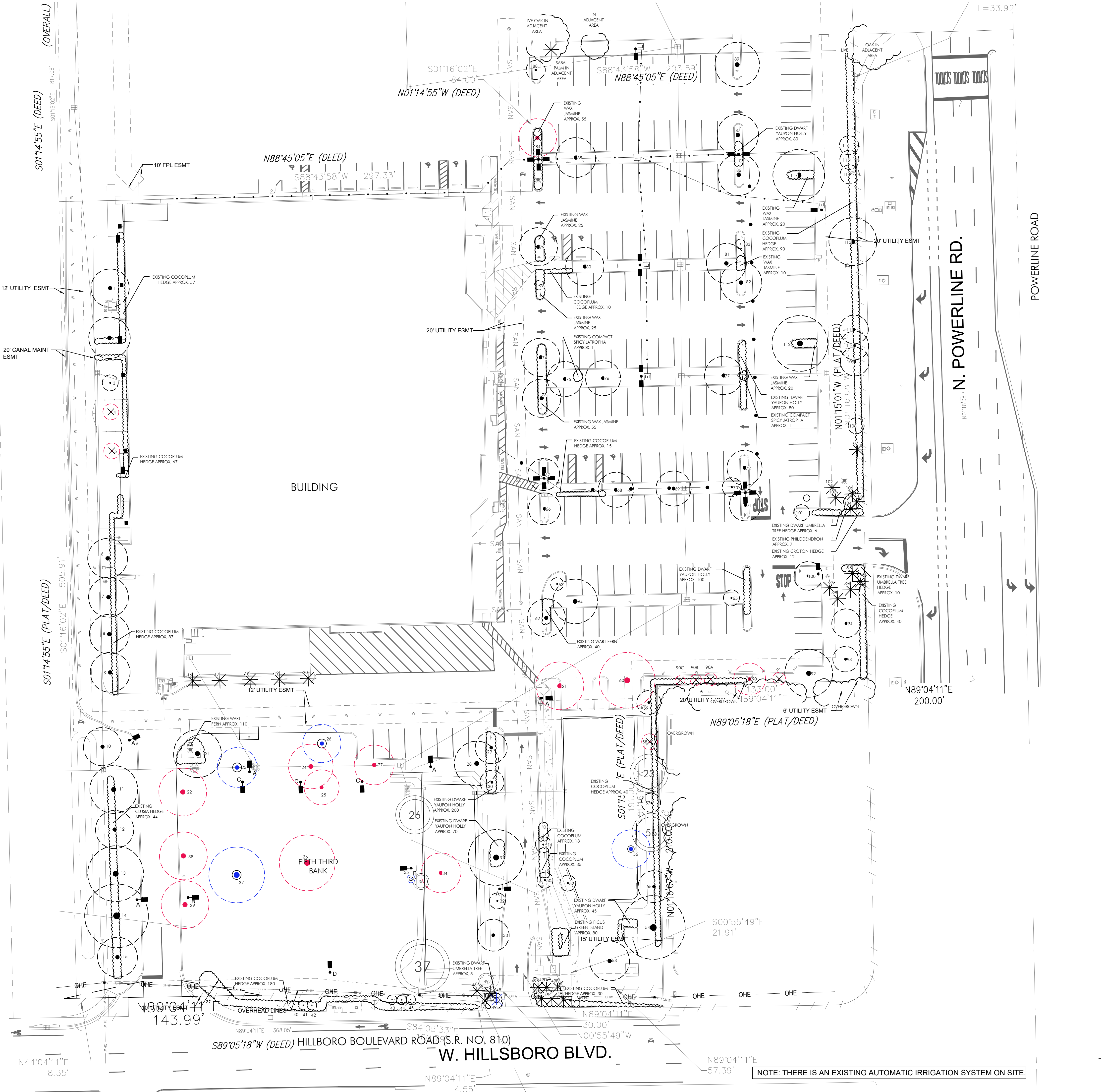
www.callsunshine.com

REV. \_\_\_\_\_  
TITLE: OVERALL EXISTING VEGETATION PLAN

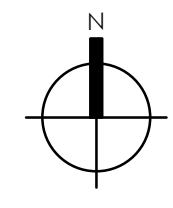
Ken Gardner F.L.A.#1569  
Kahl Senter F.L.A.#667205  
DATE: 5.27.2025  
SCALE: as noted  
SHEET: LA1-00

KEY	BOTANICAL NAME	COMMON NAME	HT. (ft.)	SPD. (ft.)	DBH. (in.)	CONDITION (%)	DISPOSITION	MITIGATION
1	Ficus microcarpa	Ficus Nitida	35	25	24	64	keep	0
2	Ficus microcarpa	Ficus Nitida	35	30	34	62	keep	0
3	Ficus microcarpa	Ficus Nitida	26	26	18	62	Remove	N/A (Invasive)
4	Ficus microcarpa	Ficus Nitida	26	26	18	55	Remove	N/A (Invasive)
5	Ficus microcarpa	Ficus Nitida	26	26	18	70	keep	0
6	Conocarpus erectus	Green Butternut	28	25	16	76	keep	0
7	Conocarpus erectus	Green Butternut	28	25	16	76	keep	0
8	Conocarpus erectus	Green Butternut	28	25	16	75	keep	0
9	Conocarpus erectus	Green Butternut	28	25	16	78	keep	0
10	Quercus virginiana	Live Oak	28	25	9	75	keep	0
11	Quercus virginiana	Live Oak	30	30	14	82	keep	0
12	Quercus virginiana	Live Oak	35	24	8	70	keep	0
13	Quercus virginiana	Live Oak	28	35	12	80	keep	0
14	Quercus virginiana	Live Oak	30	40	14	80	keep	0
15	Quercus virginiana	Live Oak	28	25	12	76	keep	0
16	Caryota mitis	Fishtail Palm	18	15	multi	80	keep	0
17	Caryota mitis	Fishtail Palm	18	15	multi	80	keep	0
18	Caryota mitis	Fishtail Palm	18	15	multi	80	keep	0
19	Caryota mitis	Fishtail Palm	18	15	multi	80	keep	0
20	Caryota mitis	Fishtail Palm	18	15	multi	80	keep	0
21	Quercus virginiana	Live Oak	24	30	14	79	keep	0
22	Quercus virginiana	Live Oak	24	30	14	74	Remove	707
23	Conocarpus erectus	Green Butternut	35	25	12	75	Transplant	0
24	Conocarpus erectus	Green Butternut	24	28	14	68	Remove	614
25	Conocarpus erectus	Green Butternut	26	22	10	73	Remove	380
26	Quercus virginiana	Live Oak	24	24	7	64	Transplant	0
27	Conocarpus erectus	Green Butternut	28	25	14	70	Remove	491
28	Conocarpus erectus	Green Butternut	30	28	12	71	keep	0
29	Quercus virginiana	Live Oak	36	20	9	79	keep	0
30	Quercus virginiana	Live Oak	18	15	4	78	keep	0
31	Quercus virginiana	Live Oak	26	35	10	84	keep	0
32	Conocarpus erectus	Green Butternut	16	10	3	88	keep	0
33	Tabebuia heterophylla	Pink Trumpet Tree	24	20	10	70	keep	0
34	Callistemon viminalis	Bottlebrush	18	25	15	63	Remove	491
35	Quercus virginiana	Live Oak	12	5	2	25	Transplant	0
36	Quercus virginiana	Live Oak	28	35	14	77	keep	0
37	Quercus virginiana	Live Oak	24	35	18	76	keep	962
38	Quercus virginiana	Live Oak	24	30	14	80	Remove	707
39	Quercus virginiana	Live Oak	28	30	10	84	Remove	707
40	Loganostemon indica	Crape Myrtle	10	6	multi	64	keep	0
41	Loganostemon indica	Crape Myrtle	10	6	multi	65	keep	0
42	Loganostemon indica	Crape Myrtle	10	6	multi	70	keep	0
43	Loganostemon indica	Crape Myrtle	10	6	multi	64	keep	0
44	Loganostemon indica	Crape Myrtle	10	6	multi	66	keep	0
45	Loganostemon indica	Crape Myrtle	10	6	multi	65	keep	0
46	Sabal palmetto	Sabal Palm	22	10	10	70	keep	0
47	Sabal palmetto	Sabal Palm	20	10	10	70	keep	0
48	Sabal palmetto	Sabal Palm	20	10	10	70	keep	0
49	Sabal palmetto	Sabal Palm	16	10	10	70	Transplant	0
49A	Sabal palmetto	Sabal Palm	16	10	10	74	keep	0
49B	Sabal palmetto	Sabal Palm	20	10	10	74	keep	0
49C	Sabal palmetto	Sabal Palm	18	10	10	74	keep	0
49D	Sabal palmetto	Sabal Palm	16	10	10	74	keep	0
49E	Sabal palmetto	Sabal Palm	20	10	10	74	keep	0
49F	Sabal palmetto	Sabal Palm	18	10	10	74	keep	0
50	Quercus virginiana	Live Oak	12	15	6	65	keep	0
51	Quercus virginiana	Live Oak	16	12	3	64	keep	0
52	Quercus virginiana	Live Oak	12	15	6	65	keep	0
53	Quercus virginiana	Live Oak	25	25	8	67	keep	0
54	Quercus virginiana	Live Oak	30	40	16	78	keep	0
55	Quercus virginiana	Live Oak	28	30	17	67	keep	0
56	Quercus virginiana	Live Oak	24	24	7	70	Transplant	0
57	Callistemon viminalis	Bottlebrush	12	12	3	64	keep	0
58	Callistemon viminalis	Bottlebrush	10	10	3+3	40	Remove	792
59	Callistemon viminalis	Bottlebrush	20	15	8	68	keep	0
60	Quercus virginiana	Live Oak	30	35	13	65	Remove	962
61	Quercus virginiana	Live Oak	30	30	9	70	Remove	707
62	Quercus virginiana	Live Oak	22	26	9	72	keep	0
63	Quercus virginiana	Live Oak	12	6	3	67	keep	0
64	Conocarpus erectus	Green Butternut	26	28	16	68	keep	0
65	Conocarpus erectus	Green Butternut	30	25	14	81	keep	0
66	Quercus virginiana	Live Oak	24	20	9	72	keep	0
67	Quercus virginiana	Live Oak	22	20	9	76	keep	0
68	Callistemon viminalis	Bottlebrush	18	22	10	62	keep	0
69	Callistemon viminalis	Bottlebrush	24	22	14	67	keep	0
70	Tabebuia heterophylla	Pink Trumpet Tree	24	12	8	52	keep	0
71	Quercus virginiana	Live Oak	24	20	10	74	keep	0
72	Quercus virginiana	Live Oak	22	22	10	80	keep	0
73	Quercus virginiana	Live Oak	24	24	9	72	keep	0
74	Quercus virginiana	Live Oak	24	24	9	77	keep	0
75	Conocarpus erectus	Green Butternut	22	22	9	70	keep	0
76	Callistemon viminalis	Bottlebrush	20	22	12	68	keep	0
77	Conocarpus erectus	Green Butternut	28	24	20	75	keep	0
78	Quercus virginiana	Live Oak	14	6	2	90	keep	0
79	Quercus virginiana	Live Oak	28	24	12	80	keep	0
80	Conocarpus erectus	Green Butternut	30	24	11	75	keep	0
81	Conocarpus erectus	Green Butternut	30	25	12	73	keep	0
82	Quercus virginiana	Live Oak	26	26	10	69	keep	0
83	Quercus virginiana	Live Oak	12	6	2	90	keep	0
84	Quercus virginiana	Live Oak	22	24	12	68	Remove	452
85	Conocarpus erectus	Green Butternut	22	25	12	68	keep	0
86	Quercus virginiana	Live Oak	26	26	7	74	keep	0
87	Quercus virginiana	Live Oak	26	26	7	85	keep	0
88	Quercus virginiana	Live Oak	12	12	5	76	keep	0
89	Quercus virginiana	Live Oak	28	28	9	80	keep	0
90	Schefflera octophylla	Umbrella Tree	25	20	multi	50	Remove	N/A (Invasive)
90A	Callistemon viminalis	Bottlebrush	12	8	5	35	Remove	50
90B	Callistemon viminalis	Bottlebrush	13	7	4	32	Remove	38
90C	Callistemon viminalis	Bottlebrush	11	6	4	30	Remove	28
91	Tabebuia heterophylla	Pink Trumpet Tree	16	8	5	40	Remove	50
92	Quercus virginiana	Live Oak	26	30	8	76	keep	0
93	Bursera arborescens	Gumbo Limbo	16	16	8	63	keep	0
94	Bursera arborescens	Gumbo Limbo	16	18	9	68	keep	0
95	Sabal palmetto	Sabal Palm	22	10	10	84	keep	0
96	Sabal palmetto	Sabal Palm	22	10	10	89	keep	0
97	Sabal palmetto	Sabal Palm	22	10	10	85	keep	0
98	Sabal palmetto	Sabal Palm	18	10	10	90	keep	0
99	Sabal palmetto	Sabal Palm	18	10	10	85	keep	0
100	Tabebuia heterophylla	Pink Trumpet Tree	26	18	9	69	keep	0
101	Tabebuia heterophylla	Pink Trumpet Tree	26	25	2	71	keep	0
102	Sabal palmetto	Sabal Palm	16	10	10	88	keep	0
103	Sabal palmetto	Sabal Palm	16	10	10	86	keep	0
104	Sabal palmetto	Sabal Palm	16	10	10	85	keep	0
105	Sabal palmetto	Sabal Palm	16	10	10	84	keep	0
106	Sabal palmetto	Sabal Palm	16	10	10	85	keep	0
107	Sabal palmetto	Sabal Palm	10	10	10	95	keep	0
108	Tabebuia heterophylla	Pink Trumpet Tree	16	10	3	68	keep	0
109	Callistemon viminalis	Bottlebrush	20	18	9	69	keep	0
110	Callistemon viminalis	Bottlebrush	20	18	9	70	keep	0
111	Callistemon viminalis	Bottlebrush	20	18	9	68	keep	0
112	Quercus virginiana	Live Oak	26	35	12	83	keep	0
113	Quercus virginiana	Live Oak	30	30	14	90	keep	0
114	Callistemon viminalis	Bottlebrush	20	12	8	63	keep	0
115	Callistemon viminalis	Bottlebrush	20	12	7	64	keep	0
116	Callistemon viminalis	Bottlebrush	18	12	12	68	keep	0
117	Mangifera indica	Mango Tree	18	18	9	73	keep	0

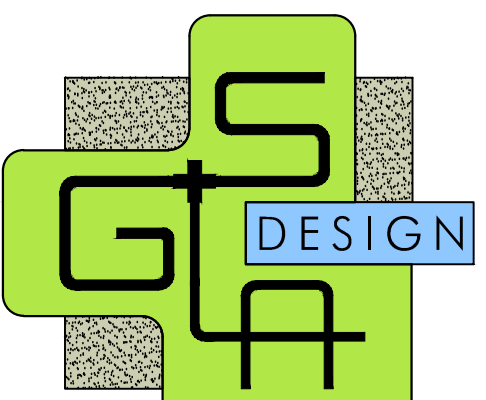
TOTAL CANOPY S.F. TO BE REMOVED (NON SPECIMEN TREES)	7,427
TOTAL EQUIVALENT VALUE TO BE REMOVED (SPECIMEN TREES)	\$ 11,400
TOTAL CANOPY S.F. REPLACEMENT PROVIDED ON SITE	11,400
MITIGATION SHORTFALL TO BE PAID INTO BEAUTIFICATION FUND	\$ 6,300.00



NOTE: THERE IS AN EXISTING AUTOMATIC IRRIGATION SYSTEM ON SITE



OVERALL EXISTING VEGETATION PLAN  
SCALE: 1" = 30'  
DATE: 5.27.2025  
SHEET: LA1-00



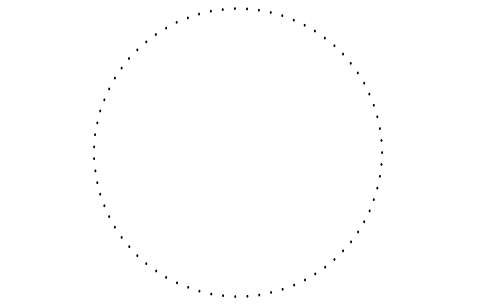
GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
WWW.GSLADESIGN.COM  
17670 NW 78th AVE., SUITE 214  
M. I. A. M. I. FL 33015  
P. 305.392.1016 F. 305.392.1019  
C.O.R.P. ID # 0000266

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FIFTH THIRD BANK  
3701 WEST HILLSBORO BLVD  
DEERFIELD BEACH, FL 33442



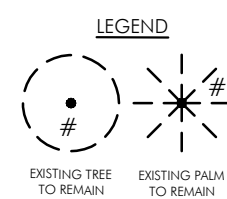
OVERALL PLANTING PLAN



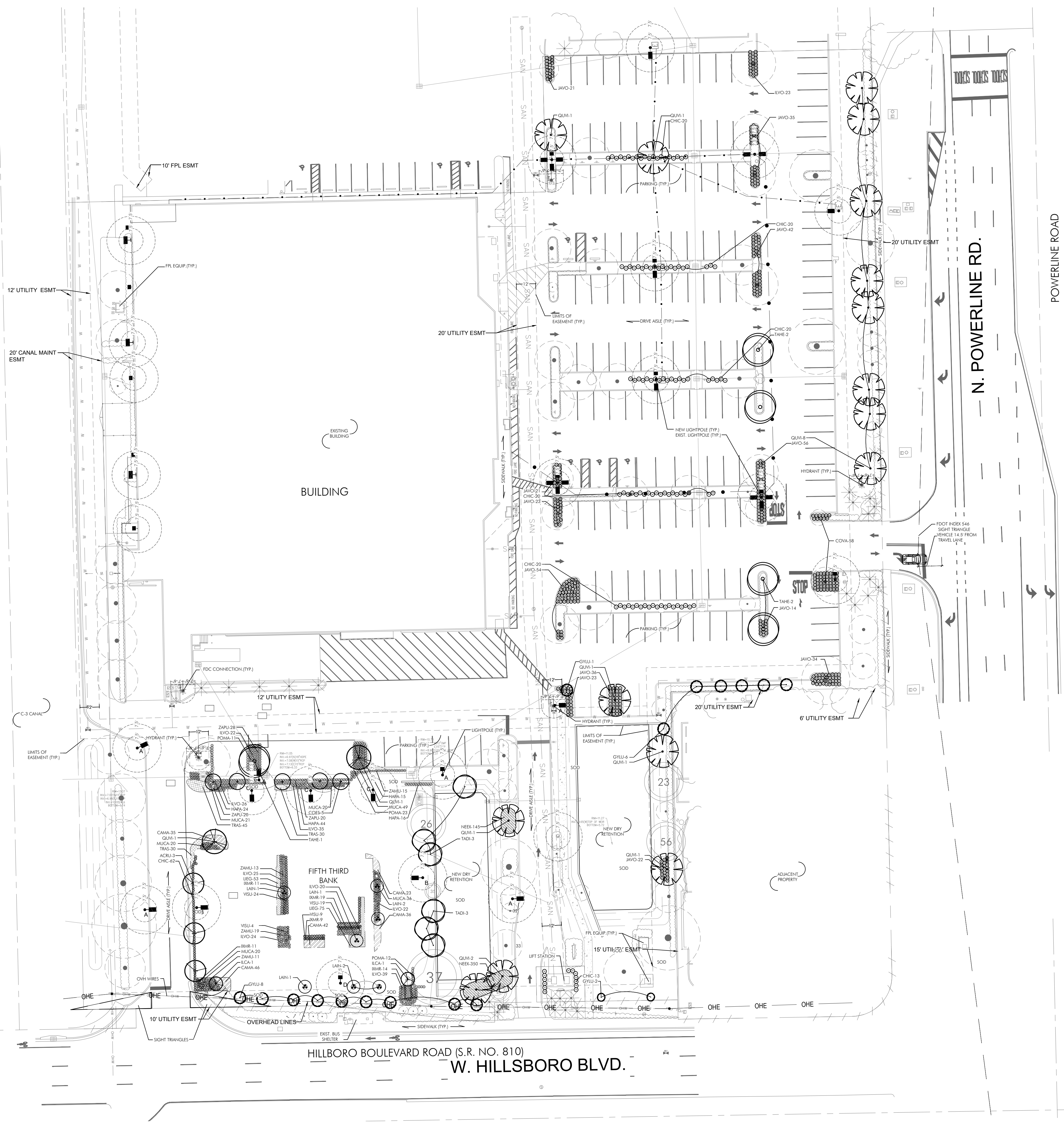
Ken Gardner  
Karl Semler  
DATE 5.27.2025  
SCALE as noted  
SHEET LA2-00

PLANT LIST				
TREES				
KEY	PLANT NAME	QTY.	UT.	SIZE
ACRU	Acer rubrum ..Red Maple	3	ea.	14' tall x 6' spread, 3" DBH
COER	Conocarpus erectus ..Green Buttonwood	5	ea.	14' tall x 6' spread, 3" DBH
GYLU	Gymnanthes lucida ..Crabwood	17	ea.	10' tall x 5', 2" DBH
ILCA	Ilex cassine ..Dahoon Holly	2	ea.	12' tall x 5' spread, 2" DBH
LAIN	Lagerstroemia indica ..Crape Myrtle	7	ea.	10' tall x 4', 2" DBH
TADI	Taxodium distichum ..Bald Cypress	5	ea.	12' tall x 5' spread, 2" DBH
TAHE	Tabebuia heterophylla ..Pink Trumpet Tree	5	ea.	14' tall x 6' spread, 3" DBH
QLVI	Quercus virginiana ..Live Oak	18	ea.	14' tall x 6' spread, 3" DBH
SHRUBS				
KEY	PLANT NAME	QTY.	UT.	SIZE
CHIC	Chrysobalanus icaco ..Coccolup	95	ea.	24" x 18", install 18" o.c.
COVA	Codiaeum variegatum ..Croton	58	ea.	18" x 18", variety to be selected
HAPA	Hamelia patens ..Firebush	90	ea.	24" x 18", install 18" o.c.
ILVO	Ilex volubilis Nana ..Dwarf Yaupon Holly	571	ea.	12" x 12", install 12" o.c.
IXMR	Ixora coccinea 'Mau Red' ..Mau Red Ixora	64	ea.	24" x 18", install 18" o.c.
JAVO	Jasminum Volubile ..Wax Jasmine	403	ea.	24" x 18", install 18" o.c.
MUCA	Muhlenbergia capillaris ..Muhly Grass	170	ea.	24" x 18", install 18" o.c.
POMA	Podocarpus macrophyllus ..Podocarpus	36	ea.	36" x 18", install 18" o.c.
VISU	Viburnum suspensum ..Sandankwa Viburnum	56	ea.	24" x 18", install 18" o.c.
ZAPU	Zamia pumila ..Coontie	94	ea.	18" x 18", install 18" o.c.
GROUNDCOVERS				
KEY	PLANT NAME	QTY.	UT.	SIZE
CAMA	Carissa macrocarpa 'Green Carpet' ..Natal Plum	187	ea.	12" x 12", install 12" o.c.
LIEG	Liriope muscari 'Ever Green' ..Liriope	128	ea.	12" x 12", install 12" o.c.
NEEX	Nephtrolepis exaltata ..Boston Fern	495	ea.	12" x 12", install 12" o.c.
MISCELLANEOUS				
	Planting Soil: 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	as req.	c.y.	excavate and backfill 18" depth in all planting areas.
	St. Augustine "Citrablue"	as req.	s.f.	solid sod
	Shredded Mulaleuca Mulch	as req.	c.y.	3" layer in all shrub beds

LANDSCAPE LEGEND - B-1 Zoning						
Code Section	Description	Required	Existing	New	Total Provided	NOTE
Sec. 98-80, (a), (1)	Landscape areas/perVIOUS areas - 54969 sq.ft. One tree min. per 1,500 sq.ft. landscape areas/perVIOUS areas	54969 sq.ft. /1500 sq.ft. = 37	34	52	86	
	Ten shrubs min. 1,500 sq.ft. landscape areas/perVIOUS areas	54969 sq.ft. /1500 sq.ft. x10 = 366	1388	1558	2946	
	Ten ground covers min. 1,500 sq.ft. landscape areas/perVIOUS areas	54969 sq.ft. /1500 sq.ft. x10 = 366	185	810	995	
Sec. 98-80, (a), (2), c	Perimeter buffers for all rights-of-way buffers - 590 L.F. One 14 - 16' tall tree for each 40 L.F. of street frontage or fraction thereof One 8' - 10' tall tree for each 100 L.F. of street frontage or fraction thereof	20 8	10 6	10 10	20 16	
Sec. 98-80, (a), (2), e	Perimeter buffers for all adjacent properties not residentially zoned - 830 L.F. One 14 - 16' tall tree for each 40 L.F. of property line or fraction thereof	21	20	1	21	
Sec. 98-80, (a), (3)	Arbor streets - 370 F.L. Hillsboro Boulevard shall have a perimeter buffer with a 15 foot width and shade trees or specimen palms over and above the minimum	10	0	0	0	Existing OVH Wires above the buffer zone along Hillsboro Avenue
Sec. 98-80, (a), (7)	Parking Islands 10 min. landscape area required, measured from back of curb to back of curb					Existing to remain
Sec. 98-80, (a), (11)	Landscape treatment in addition to other landscape requirements At least 1 shade tree for each landscaped island At least 20 shrubs for each landscaped island	39 800	35 960	6 480	41 1440	



NOTES:  
-THERE IS AN EXISTING AUTOMATIC IRRIGATION SYSTEM ON SITE.  
-EXISTING PLANT MATERIAL OUTSIDE OF THE PROJECT IMPACT AREA IS TO REMAIN UNDISTURBED.



HILLSBORO BOULEVARD ROAD (S.R. NO. 810)  
W. HILLSBORO BLVD.

OVERALL PLANTING PLAN  
SCALE: 1" = 30'

**LANDSCAPE SPECIFICATIONS  
PART 1 - GENERAL**

- 1.1 SCOPE  
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.
- 1.2 CONTRACTOR QUALIFICATIONS  
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in County where work is performed.
- 1.3 INVESTIGATION OF UTILITIES  
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).
- 1.4 SUBSTITUTIONS  
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.
- 1.5 PLANT SIZES  
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. If plant sizes of local codes and ordinances require larger plant material than specified on plans, then they shall supercede the sizes on the plan. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.
- 1.6 PLANT QUALITY  
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.
- B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.
- C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.
- 1.7 PLANT QUANTITY  
A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.
- 1.8 UNIT PRICES  
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.
- 1.9 SUBMITTALS  
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

- B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) for approval by the Landscape Architect prior to delivery to the site.
- 1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC  
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.
- B. At the end of each work day, the Contractor shall remove debris and shall barricade the unfilled holes in a manner appropriate in the path of pedestrians and motorists.
- C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.
- 1.11 MAINTENANCE PRIOR TO ACCEPTANCE  
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".
1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance shall include watering all plants, weeding, mulching, pest and disease control, tightening and repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant source, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.
2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.
3. Re-setting or straightening trees and palms:  
The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the Owner. Re-set trees within 48 hours.
- 1.12 ACCEPTANCE OF INSTALLATION  
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.
- 1.13 GUARANTEE  
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.
- 1.14 REPLACEMENT  
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor or least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.
2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.
- PART 2 - MATERIALS**
- 2.1 PLANTING SOIL  
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.
- B. Soil for Sodded Areas: shall be coarse lawn sand.
- 2.2 FERTILIZER  
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.
- 2.3 WATER  
A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.
- 2.4 MULCH  
A. Mulch shall be as specified on the Plant List.
- 2.5 ROOT BARRIER MATERIAL  
A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.  
B. Install per details in the plans.

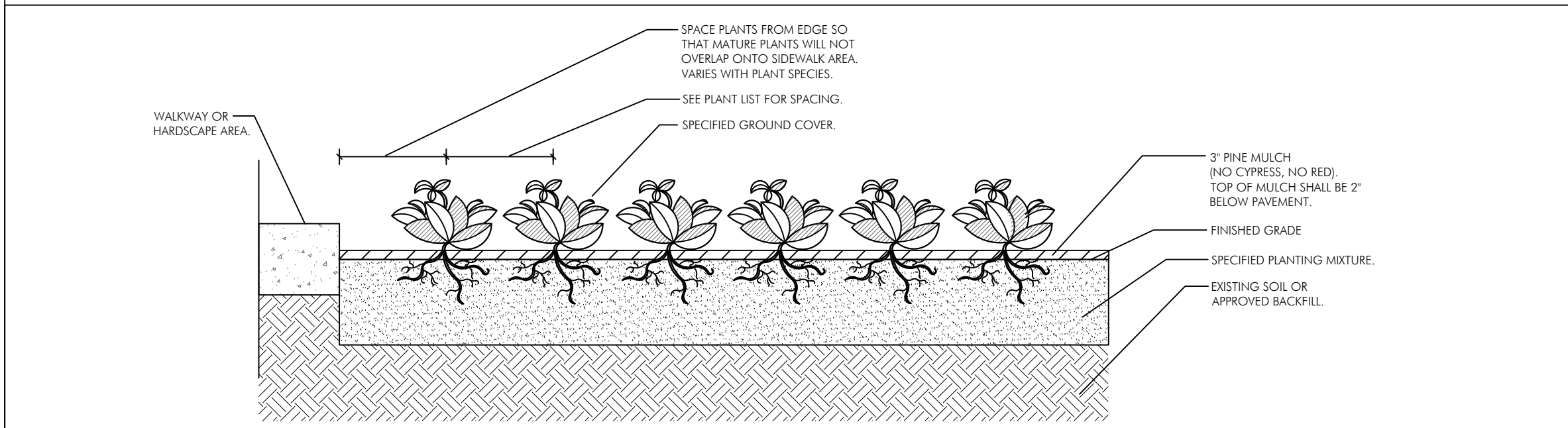
**PART 3 - INSTALLATION PROCEDURES**

- 3.1 LAYOUT  
A. Verify location of all underground utilities and obstructions prior to excavation.
- 3.2 HERBICIDE TREATMENT  
A. In all areas infected with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.
- 3.3 PLANT PIT EXCAVATION AND BACKFILLING  
A. Trees: See the Planting and Bracing Details and notes.  
B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.  
C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Spade shrubs and provide setback from curb and pavements as shown in the plans.  
D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.
- 3.4 WATERING  
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.
- AMOUNT OF WATER PER APPLICATION  
For trees up to 5 inch caliper - 5 gallons  
From 5 to 8 inch caliper - 25 gallons  
9 inch and up caliper - 50 gallons
- FREQUENCY OF WATER  
Daily for the first week  
3 times per week for weeks 2 - 5  
2 times per week for weeks 6 - 8  
1 time per week for weeks 9 - 12
- B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.
- C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

- 3.5 FERTILIZING  
A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:
1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.  
2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.  
3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.  
4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.
- 3.6 MULCHING  
A. Spread mulch three (3) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.
- 3.7 GUYING AND BRACING  
A. See the details bound herewith or made part of the plans.
- 3.8 SODDING  
A. Provide a blanket of lawn sod as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.  
B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to the slopes. The sod shall be rolled with a 500 pound hand roller immediately after planting.  
C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.  
D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.  
E. Apply fertilizer to the sod as specified in Section 3.5.  
F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

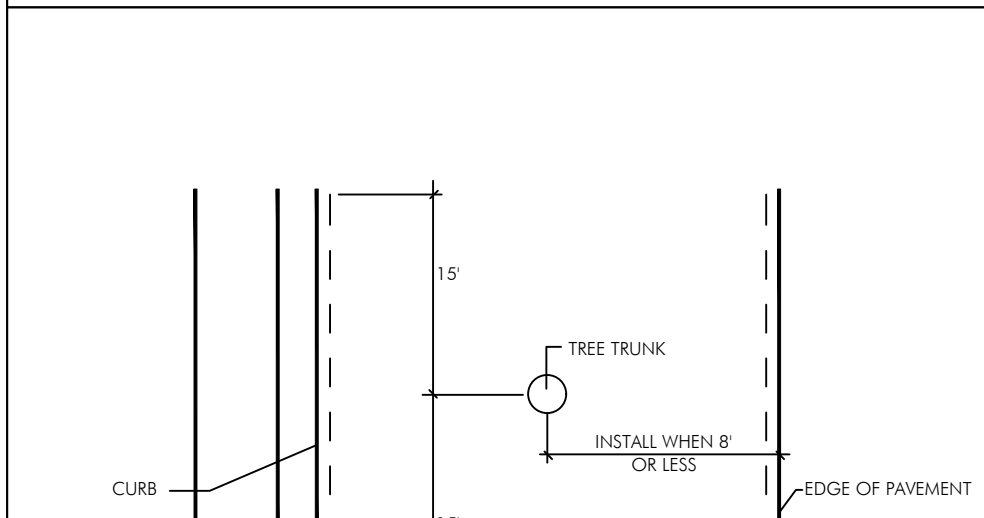
- PLANT BED PREPARATION NOTES**
1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.
2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant List(s)". If no specific preparation is noted, prepare soil as described below for each condition, over the entire area to be planted.
- Condition A:**  
If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.
- Condition B:**  
Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

- For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.
- For Trees and shrubs larger than 7 gallon, Add Diehard® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon can).
- SPACING OF PLANTS (SEE PLANT SPACING DETAIL)**
1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.
- PROTECTION OF PLANTS**
1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.



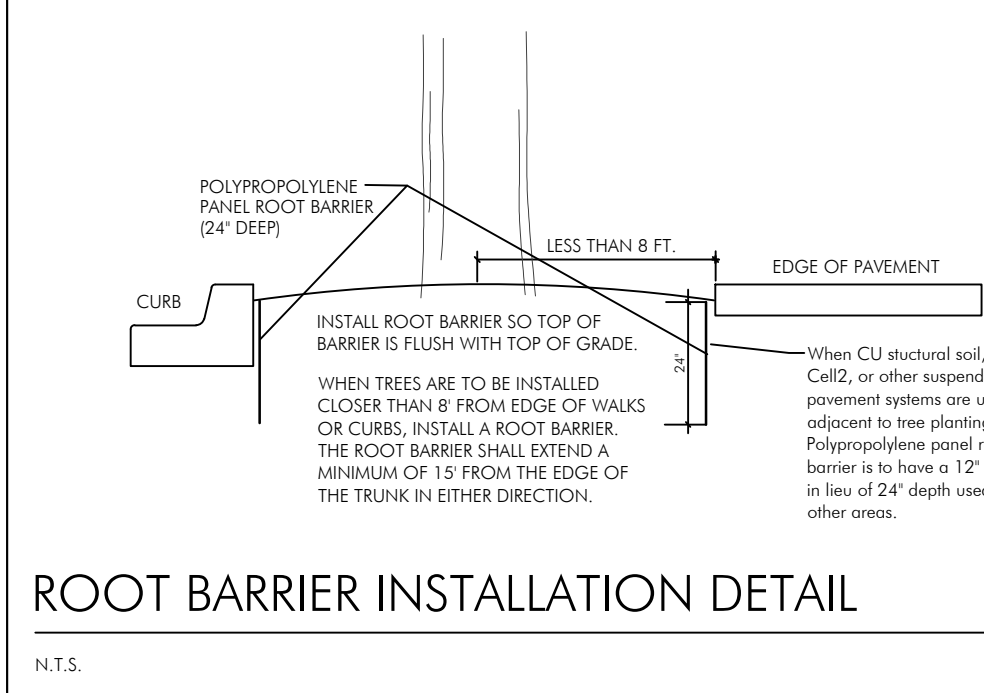
**GROUND COVER PLANTING DETAIL**

N.T.S.



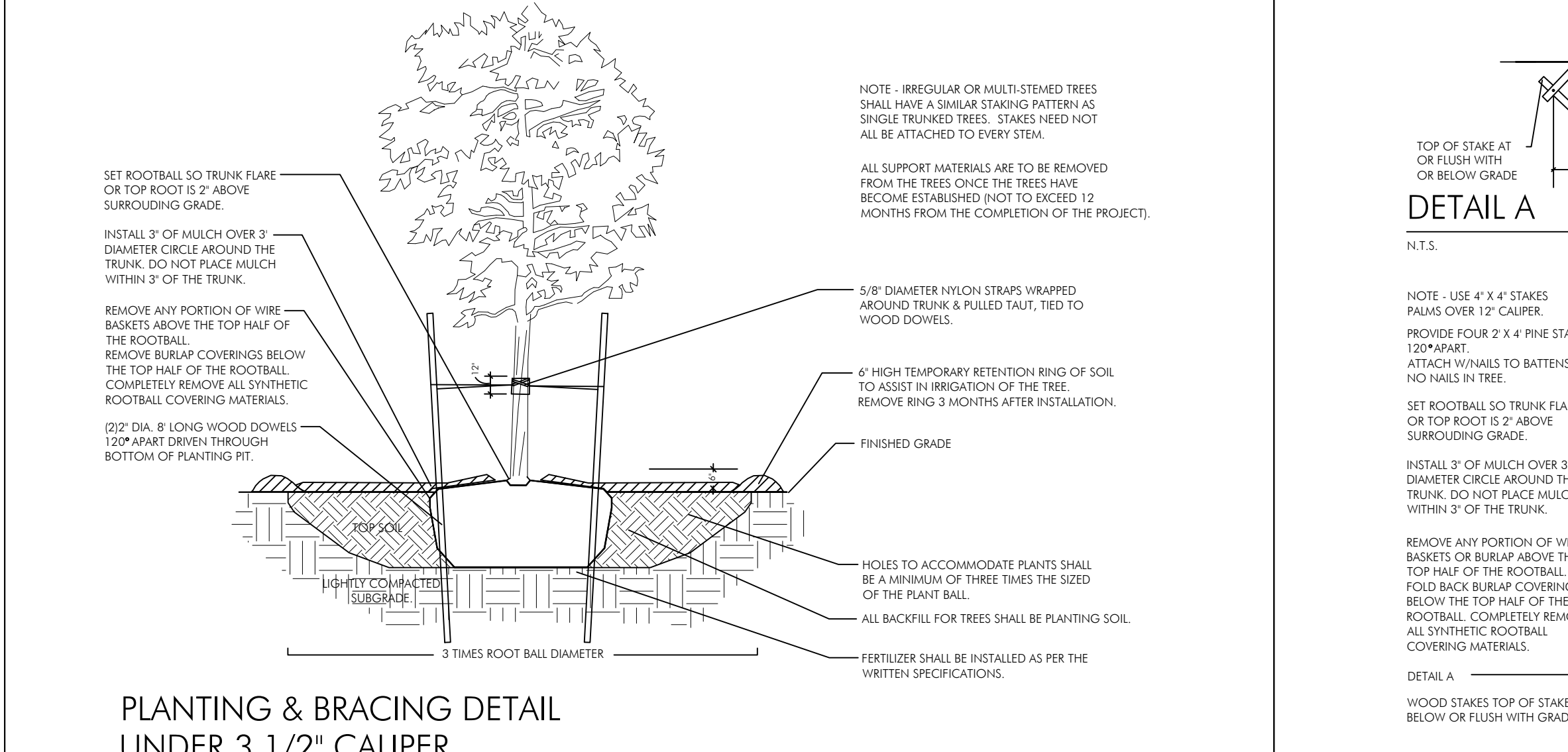
**ROOT BARRIER INSTALLATION DETAIL**

N.T.S.



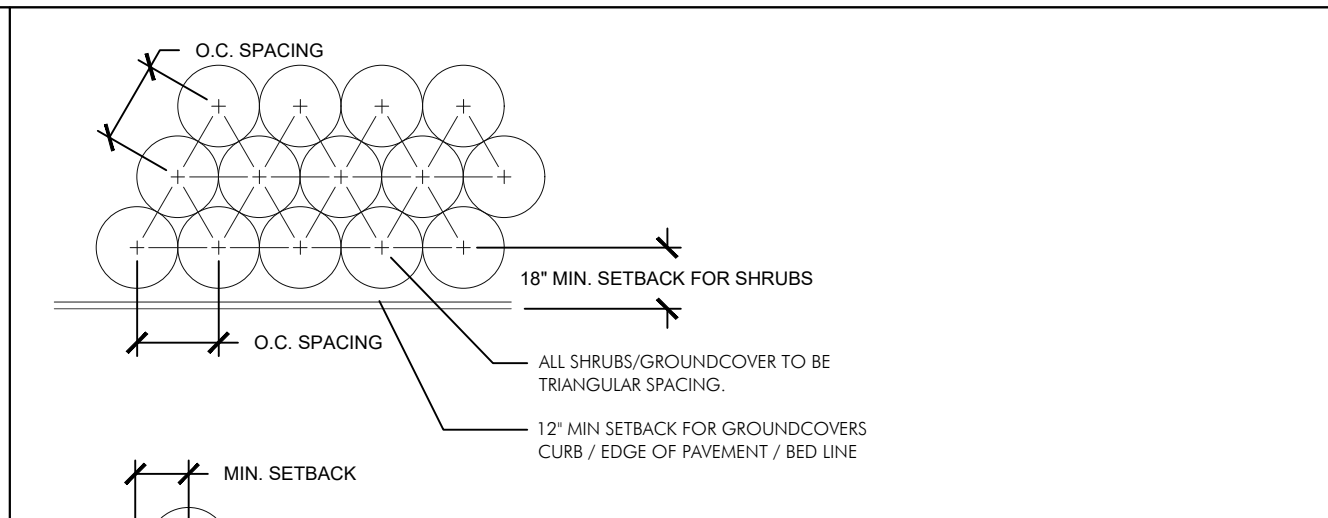
**SHRUB INSTALLATION DETAIL**

N.T.S.



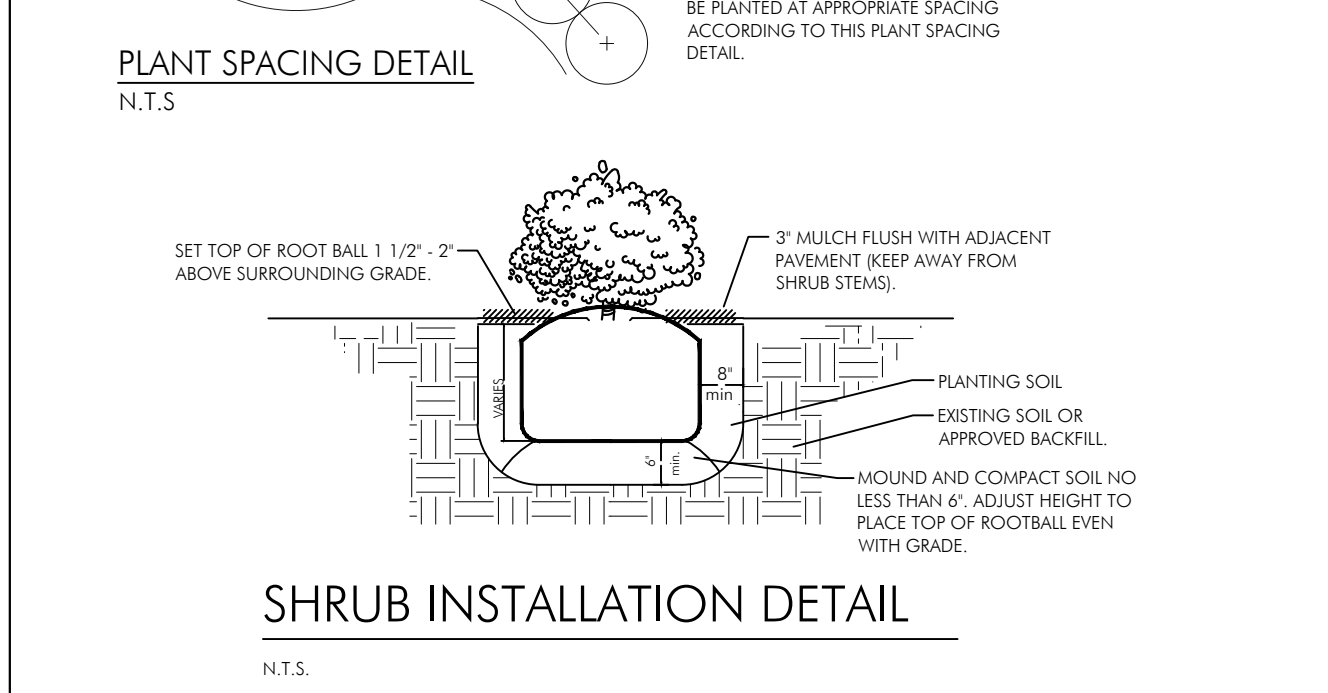
**PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER**

N.T.S.



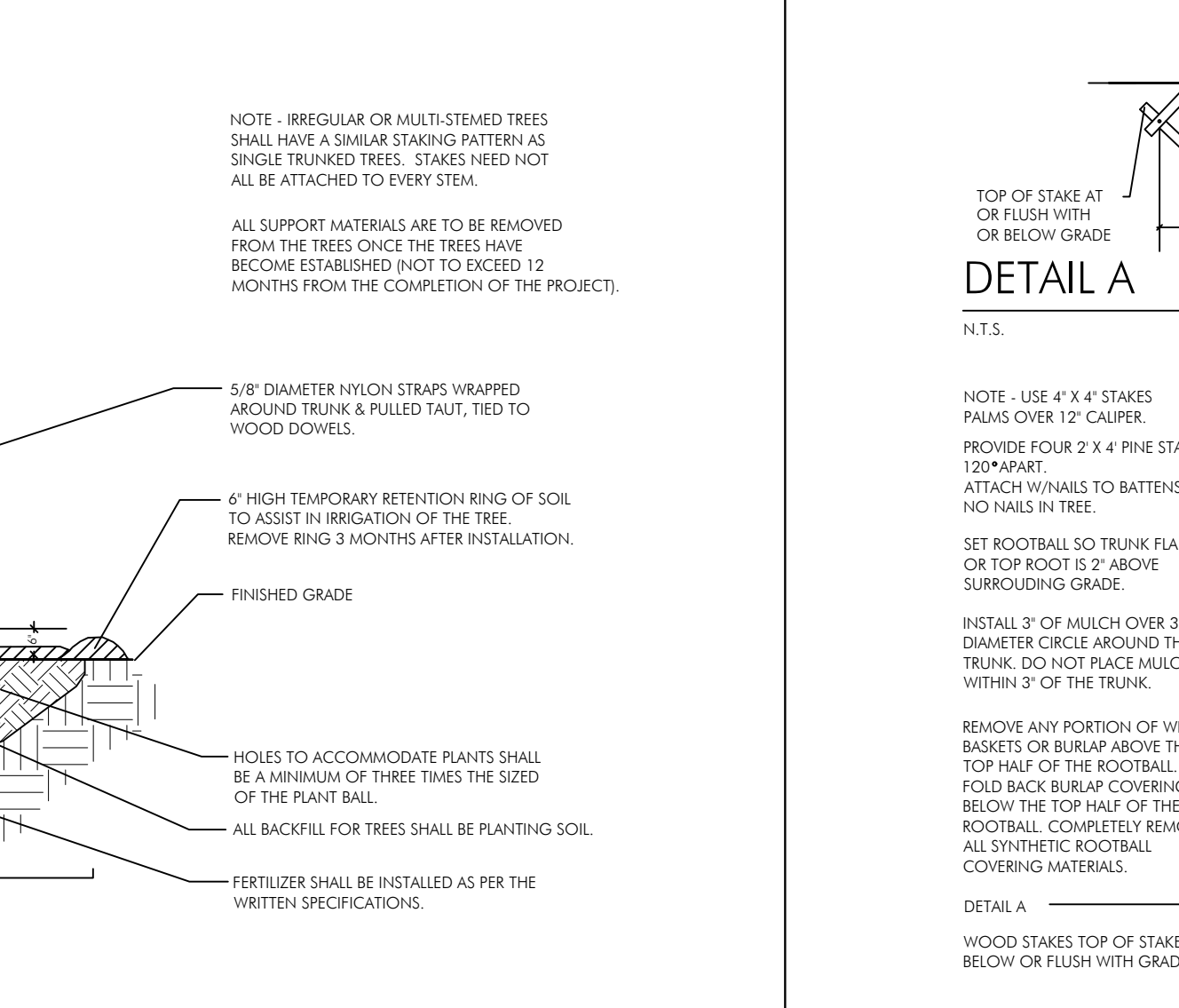
**PLANT SPACING DETAIL**

N.T.S.



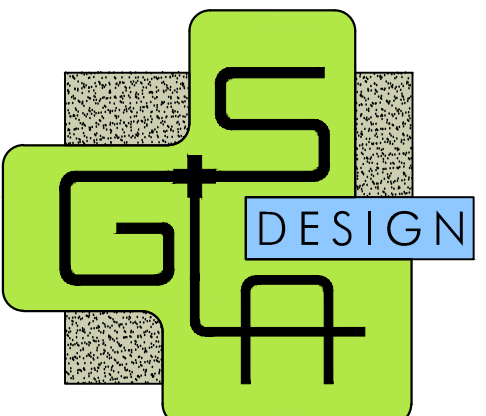
**BATTEN DETAIL B**

N.T.S.



**PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER**

N.T.S.



**GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
WWW.GSLADESIGN.COM**

17670 NW 78th AVE., SUITE 214  
MIA MI, FL 33015  
P 205.392.1016 F 205.392.1019  
C O R P . I D # 0 0 0 0 2 6 6

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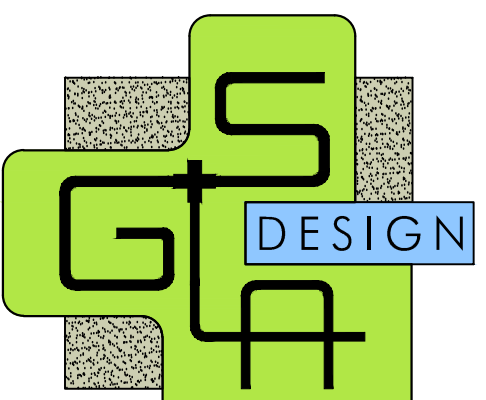
**FIFTH THIRD BANK**  
3701 WEST HILLSBORO BLVD  
DEERFIELD BEACH, FL 33442



REV.	
TITLE	

**PLANTING SPECS & DETAILS**

DATE	5.27.2025
SCALE	as noted
SHEET	LA2-01



GARDNER + SEMLER  
LANDSCAPE ARCHITECTURE  
WWW.GSLDESIGN.COM  
17670 NW 78th AVE., SUITE 214  
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CORP. ID # 0000266

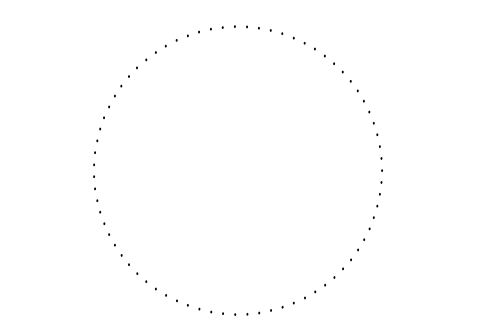
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FIFTH THIRD BANK  
3701 WEST HILLSBORO BLVD  
DEERFIELD BEACH, FL 33442



REV.

TITLE  
IRRIGATION LAYOUT PLAN



Ken Gardner  
Karl Semler  
DATE 5.27.2025  
SCALE as noted  
SHEET IR1-01

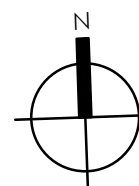
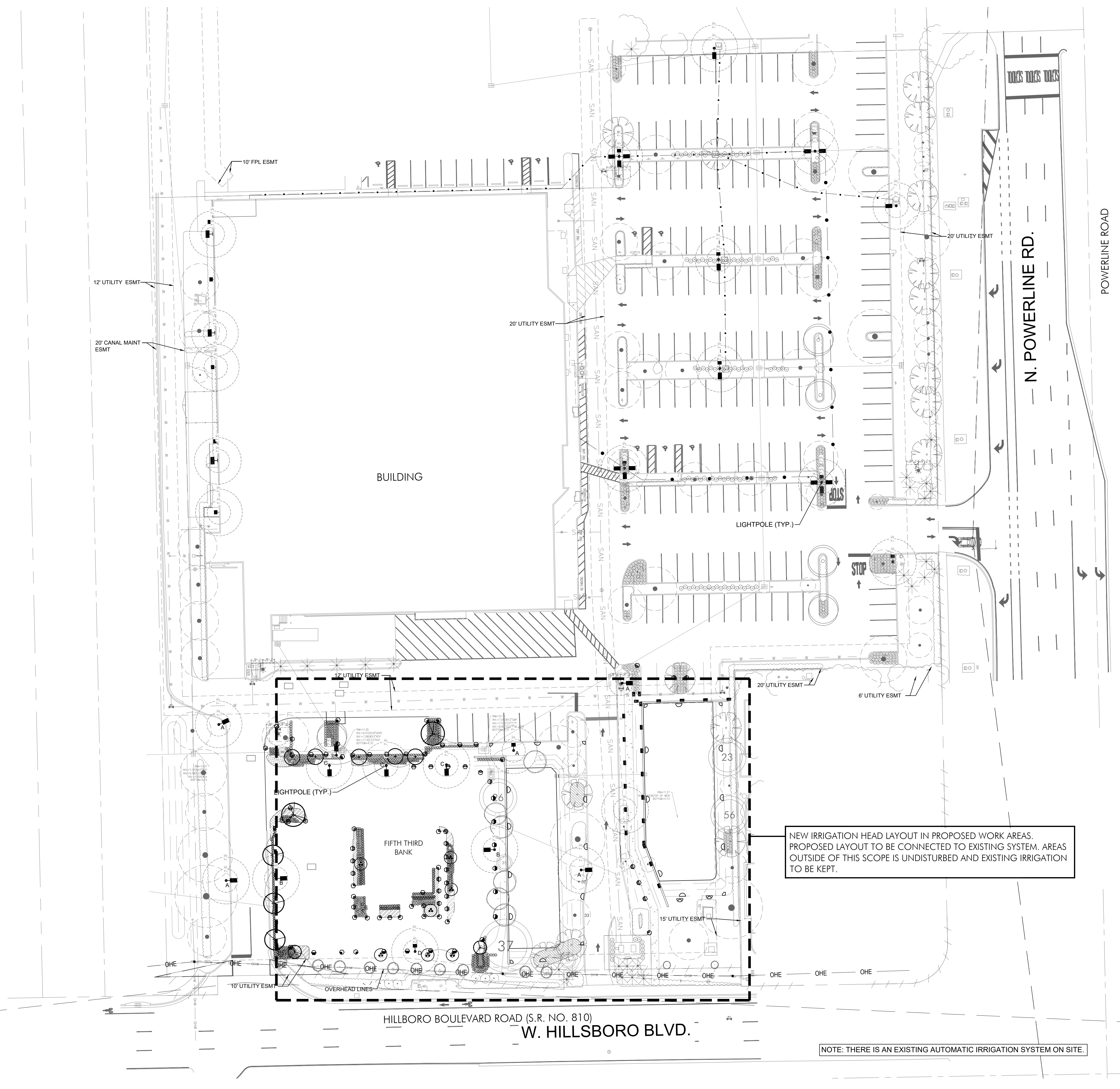
KEY	ITEM	QTY.
—	PVC laterals shall be Class 200 PVC (sized as shown on plans)	as required
—	MAIN shall be Class 200 PVC	as required
—	Bubbler Zone Piping	as required
—	PVC sleeves shall be Class 200 PVC (sized double the width of the pipe within, installed wherever pipe runs under hardscape)	as required
—	Flexible PVC or Polypipe (for swing joints)	as required
●	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve	as required
—	Irrigation Control Wire	as required
⊗	RAINBIRD Rotary Spray Heads 17'-24" radius R-VAN 24 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
⊗	24-360 (3.13 gpm)	
⊗	24 (27") (2.31 gpm)	
⊗	24 (18") (1.54 gpm)	
⊗	24 (12") (1.0 gpm)	
⊗	24 (9") (.77 gpm)	
⊗	RAINBIRD Rotary Spray Heads 13'-18" radius R-VAN 18 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
⊗	18-360 (1.8 gpm)	
⊗	18 (27") (1.42 gpm)	
⊗	18-(18") (.98 gpm)	
⊗	18-(12") (.6 gpm)	
⊗	18-(9") (.5 gpm)	
⊗	RAINBIRD Rotary Spray Heads 8'-14" radius R-VAN 14 Series @ 40 PSI 6" pop-up in grass areas 12" pop-up on risers in shrub beds	
⊗	14-360 (1.22 gpm)	
⊗	14 (27") (.92 gpm)	
⊗	14-(18") (.61 gpm)	
⊗	14-(12") (.4 gpm)	
⊗	14-(9") (.31 gpm)	
⊗	RAINBIRD Rotary Spray Heads 8'-14" radius R-VAN Series Strip Nozzles @ 40 PSI	
⊗	15-sst (.48 gpm)	
⊗	15-lcs (.24 gpm)	
⊗	15-rs (.24 gpm)	
⊗	5000/Series Rotor Heads @ 45 PSI 35' RADIUS	
⊗	8.0 nozzle (7.58 gpm)	
⊗	6.0 nozzle (5.73 gpm)	
⊗	4.0 nozzle (3.81 gpm)	
⊗	2.0 nozzle (1.92 gpm)	

LATERAL PIPE SIZING  
The Contractor is responsible to properly size all laterals. All laterals shall be sized according to the following schedule. Total gallonage per pipe section shall be calculated by adding the GPM per head for every head downstream of the pipe.

CLASS 200 PVC PIPE SIZING CHART	SIZE	GPM
	1/2"	0-8 GPM
	1"	8-14 GPM
	1 1/2"	14-24 GPM
	2"	24-32 GPM
	2 1/2"	32-50 GPM
	3"	50-75 GPM
	3 1/2"	60-110 GPM
	4"	110-190 GPM

NEW IRRIGATION HEAD LAYOUT IN PROPOSED WORK AREAS. PROPOSED LAYOUT TO BE CONNECTED TO EXISTING SYSTEM. AREAS OUTSIDE OF THIS SCOPE IS UNDISTURBED AND EXISTING IRRIGATION TO BE KEPT.

NOTE: THERE IS AN EXISTING AUTOMATIC IRRIGATION SYSTEM ON SITE.



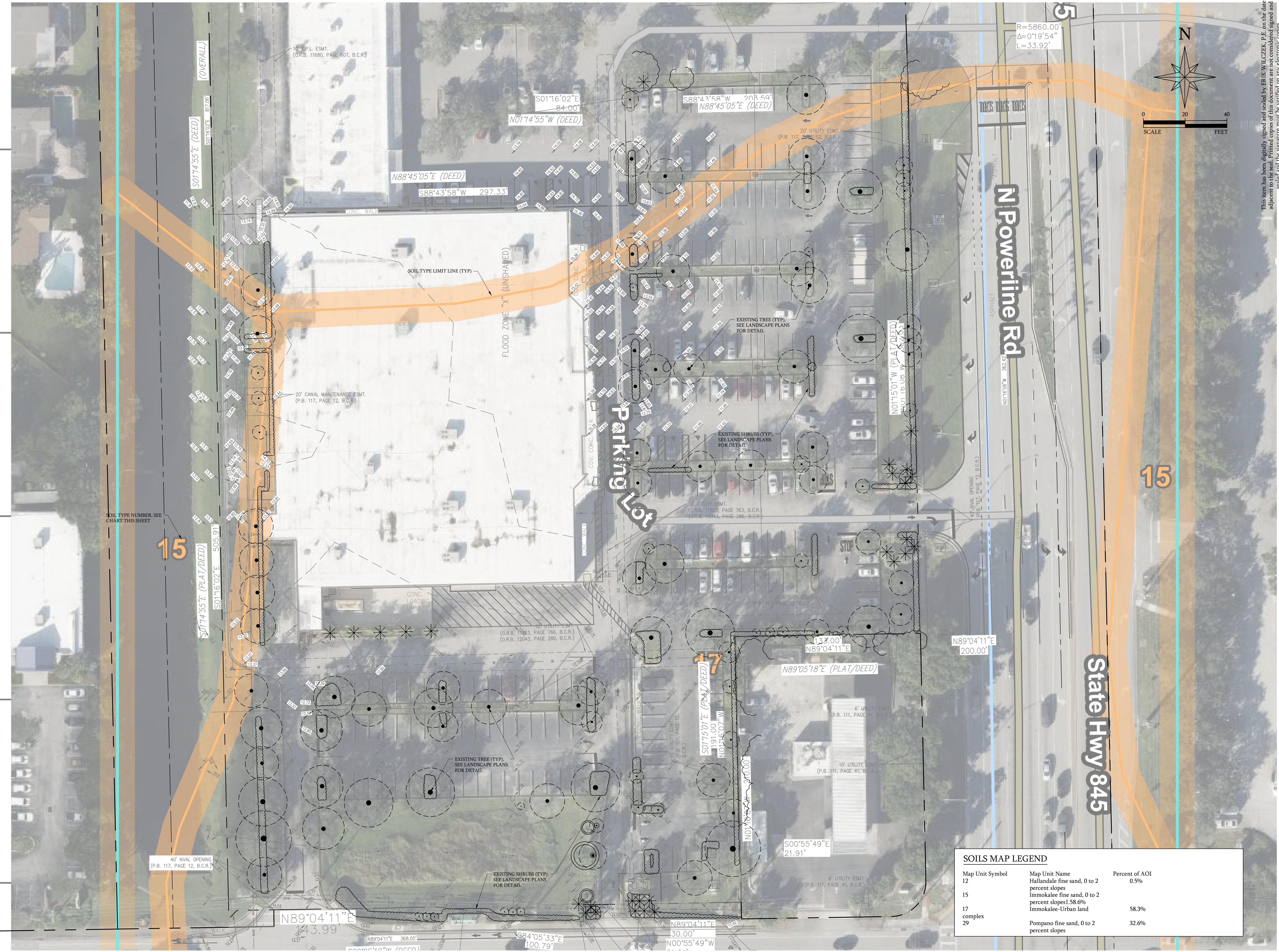
IRRIGATION LAYOUT PLAN  
120' 60' 30' 0'  
SCALE: 1" = 30'



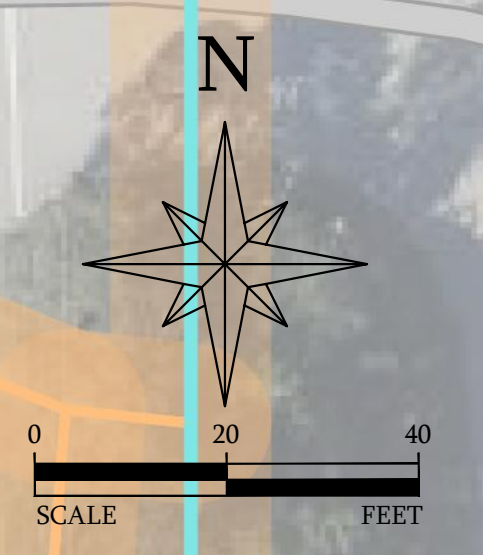


Printed By: Erik Wilczek    Layout: DC-1    Date: 25, 2025    04:22:08pm    \\V\env\ken\Users\VA\03\_Progam\_Development\VA03-02\_005\_Outsource\CA03-01\_EXISTING\_CONDITIONS\_PLAN.dwg  
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2911190    2911230    2911270    2911310    2911350



SOILS MAP LEGEND		
Map Unit Symbol	Map Unit Name	Percent of AOI
12	Hallandale fine sand, 0 to 2 percent slopes	0.5%
15	Immokalee fine sand, 0 to 2 percent slopes	58.6%
17	Immokalee-Urban land	58.3%
29	Pompano fine sand, 0 to 2 percent slopes	32.6%



This item has been digitally signed and sealed by ERIK WILCZEK, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

EXISTING CONDITIONS PLAN

**FIFTH THIRD BANK**

DEERFIELD BEACH    BROWARD COUNTY, FL

LICENSED PROFESSIONAL  
**ERIK J. WILCZEK**  
 FL LICENSE NUMBER  
**58216**

PROJECT #  
083-02

DATE  
06-02-2025

SCALE  
AS NOTED

DESIGNED BY  
TZ

DRAWN BY  
TZ

CHECKED BY  
EW

SHEET NUMBER  
**EX-1**

REVISIONS

No.	DATE	BY